

# DS TAVERN

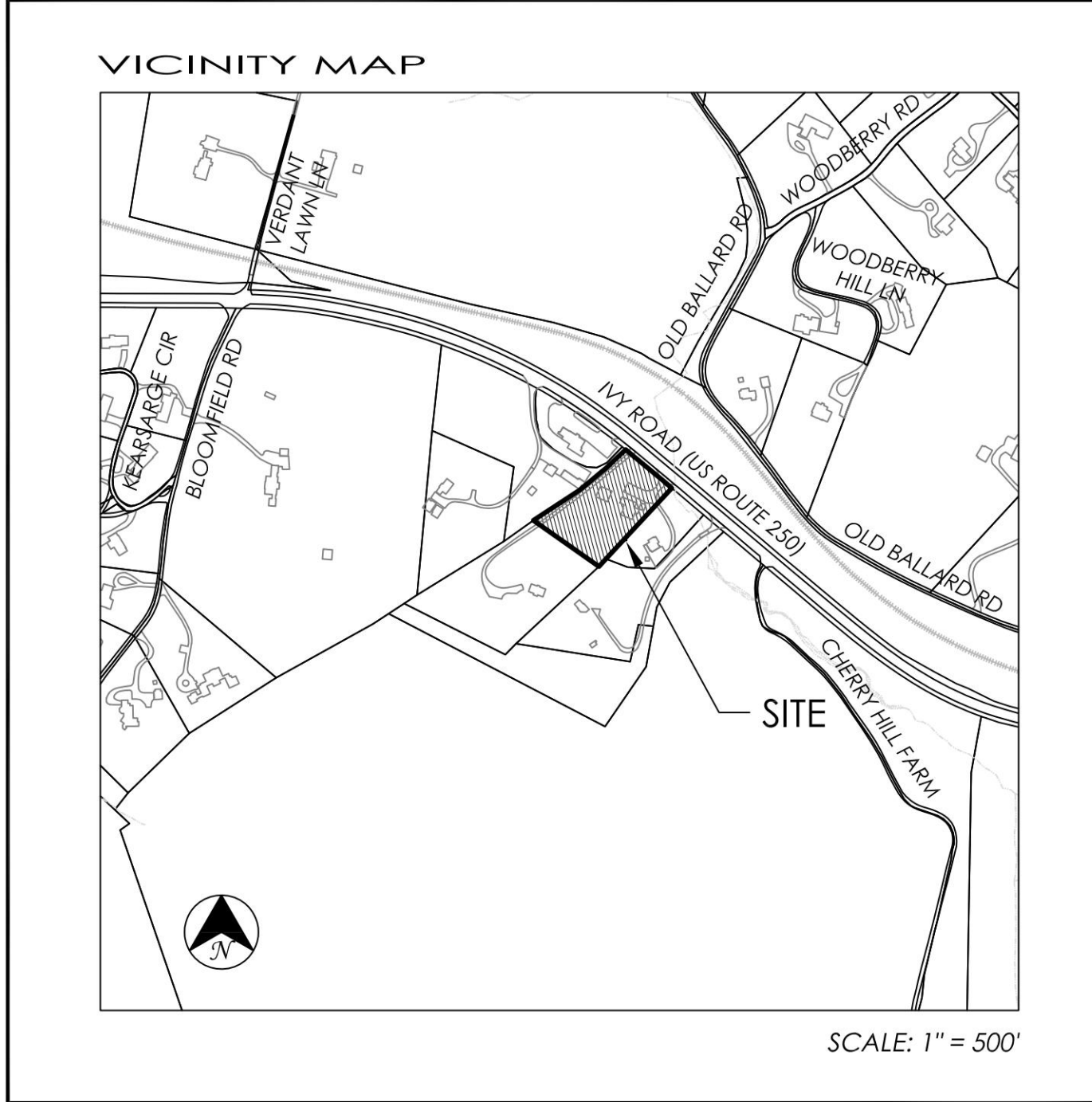
## SDP202200025 MAJOR SITE PLAN AMENDMENT TO SDP202000062 (PLAN TO SUPERSEDE SDP202100077) SAMUEL MILLER MAGISTERIAL DISTRICT



- Owner/Developer:**  
Ivy Road RE LLC  
800 E Canal Street  
STE 1900  
Richmond, Virginia 23219
- Engineer:**  
Woolley Engineering  
210 5th Street NE  
Charlottesville, Virginia 22902  
434.973.0045
- Landscape Architect:**  
Anhold Associates  
8311 Rockfish Gap Turnpike  
Greenwood, VA 22943  
434.882.3420
- Parcel Information:**  
TMP 59-15A, n/f Ivy Road RE LLC (1.98 acres)  
Property Address: 3449 Ivy Road, Charlottesville, Virginia 22903  
Magisterial District: Samuel Miller  
Current Use: Commercial  
Deed Book 5123, p. 91  
Watershed: Ivy Creek (Water Supply Protection Area)
- Zoning Information:**  
Existing Zoning Primary: C1 (Commercial)  
Existing Zoning Secondary: RA (Rural Areas)  
There are areas of Steep Slopes on the project site that are defined within the Albemarle County Code as Critical Slopes.  
The site is located within the Entrance Corridor and Scenic Byway Overlays  
The site is subject to proffer ZMA-1984-00026  
Special Exception (SE202200022): grading within the use buffer to allow for utility installation  
Shared Parking Agreement: Halifax House shared parking agreement that allows for a combined total number of parking spaces split amongst the two properties
- Minimum Yard Requirements:**
  - Front - Minimum:**
    - Ten (10) feet from the right-of-way
    - Off-street parking or loading spaces shall be ten (10) feet from any public street right-of-way
  - Front - Maximum:**
    - Maximum setback does not apply to any structure existing on June 3, 2015
  - Side and Rear - Minimum:**
    - No portion of any structure, excluding signs, shall be located closer than fifty (50) feet to any rural areas or residential district boundary and no off-street parking or loading space shall be located closer than thirty (30) feet to any rural areas or residential district boundary.
    - No construction activity including grading or clearing of vegetation shall occur closer than twenty (20) feet to any residential or rural areas district. Screening shall be provided as required.
  - Side and Rear - Maximum:**
    - None
- Planned Land Use:**  
Additional parking and hardscape changes  
Maximum proposed site impervious surface: 0.37 ac.
- Maximum Building Height (by Code):** 45 feet
- Adjacent Properties:**
  - TMP 59-15A.1, n/f Ivy Road RE LLC  
Deed Book 5123, p 91; C1  
Current Use: Office Space
  - TMP 59-15, n/f Jerry D or Jill Stowe Beninate  
Deed Book 1654, p 396; RA  
Current Use: Single Family Residence
  - TMP 59-15B, n/f Hollam Roth  
Deed Book 4263, p 729; RA  
Current Use: Single Family Residence
  - TMP 59-16A, n/f Ivy Hill Gardens LLC  
Deed Book 5002, p 71; RA  
Current Use: Residential - Multi-Family
  - US Route 250 - Ivy Road  
80' Width Right of Way
- Datum and Benchmark Reference:**
  - Virginia Landcraft, LLC, P.O. Box 148, North Garden, Virginia, 22959;  
Boundary, physical and topographic dated June 14, 2021, revised March 4, 2022.

- General Construction Notes:**
  - The abbreviation V.D.O.T. made hereafter refers to the Virginia Department of Transportation. The term County refers to the County of Albemarle, Virginia.
  - Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern.
  - All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
  - Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
  - All slopes and disturbed areas are to be fertilized, seeded and mulched.
  - The maximum allowable slope is 2:1 (horizontal:vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
  - Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage channel.
  - All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
  - Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
  - All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).
  - Retaining walls greater than 3 feet in height require a separate building permit. Walls exceeding 4 feet in height require a stamped engineered design also. Walls require inspections as outlined in USBC.
  - Accessible parking spaces, access aisles, and accessible routes shall be installed in accordance with ICC/ANSI A117.1-09 and the Virginia Construction Code.
  - All roof drains shall discharge in a manner not to cause a public nuisance and not over sidewalks.
  - Smoking shall be prohibited in any areas where smoking becomes a hazard. Any areas where smoking would be a hazard shall be marked "No Smoking" with signs posted per Virginia Statewide Fire Prevention Code.
  - Smoke areas shall have appropriate receptacles for discarded smoking materials per Virginia Statewide Fire Prevention Code.
  - Per the Virginia Statewide Fire Code, vehicular access for firefighting shall be provided at all construction and demolition sites, provide access to within 100 ft. of temporary or permanent fire department connections, and have no overhead wiring or other overhead obstructions lower than 13 ft. 6 inches; this access may be via permanent or temporary road, but shall be capable of supporting fire apparatus in all weather conditions.
  - Contractor shall ensure the street numbers are always plainly visible from the frontage street during construction per the Virginia Statewide Fire Code.
  - An approved water supply for firefighting operations shall be in place and available as soon as combustible materials arrive on site.
  - Waste and combustible debris shall be removed from the building at the end of each day and disposed of in accordance with the Virginia Statewide Fire Code.
  - Fire extinguishers shall be provided, with not less than one approved fire extinguisher at each stall, on all floor levels where combustible materials have accumulated, in every storage and construction shed and in areas of special hazards, such as where flammable and combustible liquids are stored or used, in accordance with the Virginia Statewide Fire Code.
  - Operations involving the use of cutting and welding shall comply with Virginia Statewide Fire Prevention Code and shall require a permit from the Albemarle County Fire Marshal's Office.

- Stormwater Management**
  - Stormwater Quality:**  
The total amount of Phosphorus removal required for site improvements related to this site plan is 0.28 lb./yr. The 12' dia HUC for the site is 020802040202. The Owner has purchased 0.29 lb. of nutrient credits from the Ivy Creek Nutrient Bank, LLC to meet water quality requirements under 9VAC25-870-65. This purchase allows for 450 sf of impervious surface for future development.
  - Stormwater Quantity:**  
The post-construction point of discharge for stormwater from this site releases into an existing stormwater conveyance piping system located on the 3447 Ivy Road (Halifax House) property. The post-construction 10-year 24-hour design storm was modeled and the peak flow rate hydraulic grade line is shown on the existing conveyance pipe profile located on sheet C5.1 within this site plan. This project meets 9VAC25-870-66 C.1. due to the 10-year 24-hour peak flow being fully confined within the existing stormwater conveyance piping system.
  - Outfall Analysis:**  
Runoff from the site discharges into an existing manmade conveyance system located on the 3447 Ivy Road property. The stormwater conveyance channel at the point of analysis was modeled to determine if 4' river rock lined outlet protection would be adequate to prevent erosion. The outfall calculations show that the maximum velocity through the outlet protection during the 10-year 24-hour design storm is 5.34 ft/s and the peak flow rate is 11.05 cfs. The outlet protection was modeled as a 5' wide, 0.5' depth, 31' long parabolic channel. A 4' river rock is defined by AASHTO to be a "course gravel". The allowable velocity for a 2-year 24-hour design storm through a course gravel channel should be less than 6 ft/s to prevent scour (Source: Virginia Erosion & Sediment Control Handbook - Table 3.18-8). The maximum velocity through the proposed outlet protection is less than the allowable velocity so a 4' river rock lined outlet protection is considered to be adequate with respect to erosion resistance. The peak flow rate will not cause erosion to the conveyance system and therefore qualifies to meet 9VAC25-870-66 8.1.a. for Channel Protection.
- Parking**
  - Existing Parking**
    - 7 regular spaces
    - 0 HC accessible spaces
  - Required Parking**
    - A shared parking agreement is being proposed to meet parking requirements for both the DS Tavern and the adjacent parcel, Halifax House (TMP 59-15A.1).
      - Office space = 1 space/200 sf of net office floor area (County Code Ch. 18, Sec. 4.12.6)
      - Net sf office area DS Tavern = 2,484.8 sf (Actual net office floor area)
      - Net sf office area Halifax House = 1,874.4 sf (Net = 80% of County GIS 2,343 gsf)
      - Combined net sf office area = 4,359.2 sf
    - Required spaces
      - DS Tavern (2,484.8/200 = 12.4) = 12 spaces
      - Halifax House (1,874.4/200 = 9.4) = 9 spaces
      - Combined number of required spaces = 21 spaces
  - Total Proposed Parking**
    - DS Tavern = 9 regular spaces + 1 HC accessible space = 10 spaces
    - Halifax House = 15 regular spaces + 1 HC accessible space = 16 spaces
    - Combined number of proposed spaces = 24 regular spaces + 2 HC spaces = 26 spaces
    - Per County Code section Ch. 18, Sec. 4.12.4(a) you may not exceed the minimum required number of parking spaces by more than 20%  
Maximum allowable combined = ((12.4+9.4) \* 1.2) = 26.2 spaces = 26 spaces
- Fire Flow Information**
  - NFF = 700 gpm for primary structure
  - The closest rural water supply for fire fighting services is the tributary leading to Ivy Creek that is located to the east of the property entrance.



SHEET INDEX	
<input checked="" type="checkbox"/>	C1.0 Cover
<input checked="" type="checkbox"/>	C2.0 Existing Conditions Exhibit
<input checked="" type="checkbox"/>	C3.0 Critical Slope Exhibit & Demolition Plan
<input checked="" type="checkbox"/>	C4.0 Site Layout Plan
<input checked="" type="checkbox"/>	C4.1 Site Grading Plan
<input checked="" type="checkbox"/>	C5.0 Site Utility Plan
<input checked="" type="checkbox"/>	C5.1 Storm Drainage Profiles
<input checked="" type="checkbox"/>	C5.2 Septic Design Plan and Profile
<input checked="" type="checkbox"/>	C6.0 Stormwater Management Plan
<input checked="" type="checkbox"/>	C6.1 Mitigation Plan
<input checked="" type="checkbox"/>	C7.0 General Details
<input checked="" type="checkbox"/>	L100 Vicinity Site Plan
<input checked="" type="checkbox"/>	L101 Planting Plan
<input checked="" type="checkbox"/>	L102 Planting Plan - Continued
<input checked="" type="checkbox"/>	L500 Site Details
<input checked="" type="checkbox"/>	L501 Planting Schedule & Details
<input checked="" type="checkbox"/>	SL1.0 Site Lighting Plan
<input type="checkbox"/>	ES1.0 Erosion & Sediment Control Narrative
<input type="checkbox"/>	ES2.0 Erosion & Sediment Control Plan
<input type="checkbox"/>	ES3.0 Erosion & Sediment Control Details
<input checked="" type="checkbox"/>	Filled Box Indicates Drawing Included in Set (Total Included = 15 Sheets)

SIGNATURE PANEL		
Albemarle Co. Dept. of Community Development - Planning Division	Date	
Albemarle Co. Dept. of Community Development - Engineering Division	Date	
Albemarle Co. Dept. of Community Development - Zoning Division	Date	
Albemarle County Division of Fire and Rescue	Date	
Albemarle County Building Inspections	Date	
Albemarle County Service Authority	Date	







**WOOLLEY ENGINEERING**  
 Consulting Civil Engineers  
 210 5th Street NE  
 Charlottesville - Virginia 22902  
 (434) 973-0845  
 www.Woolley-Eng.com

Owner:  
 Ivy Road RE LLC  
 800 E Canal Street  
 Ste 1900  
 Richmond, Virginia  
 23219

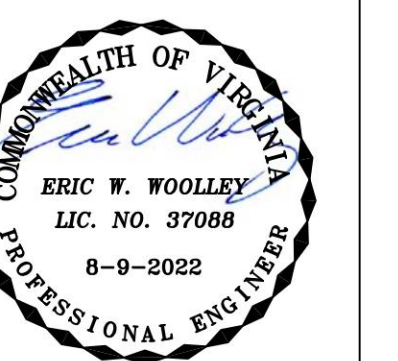
Landscape Architect:  
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 434.882.3420  
 anhold@a.com

**MAJOR  
 SITE PLAN  
 AMENDMENT**

**DS TAVERN  
 Major Site Plan Amendment  
 COUNTY OF ALBEMARLE, VIRGINIA**

**SITE  
 LAYOUT  
 PLAN**

Job Number:  
 22010



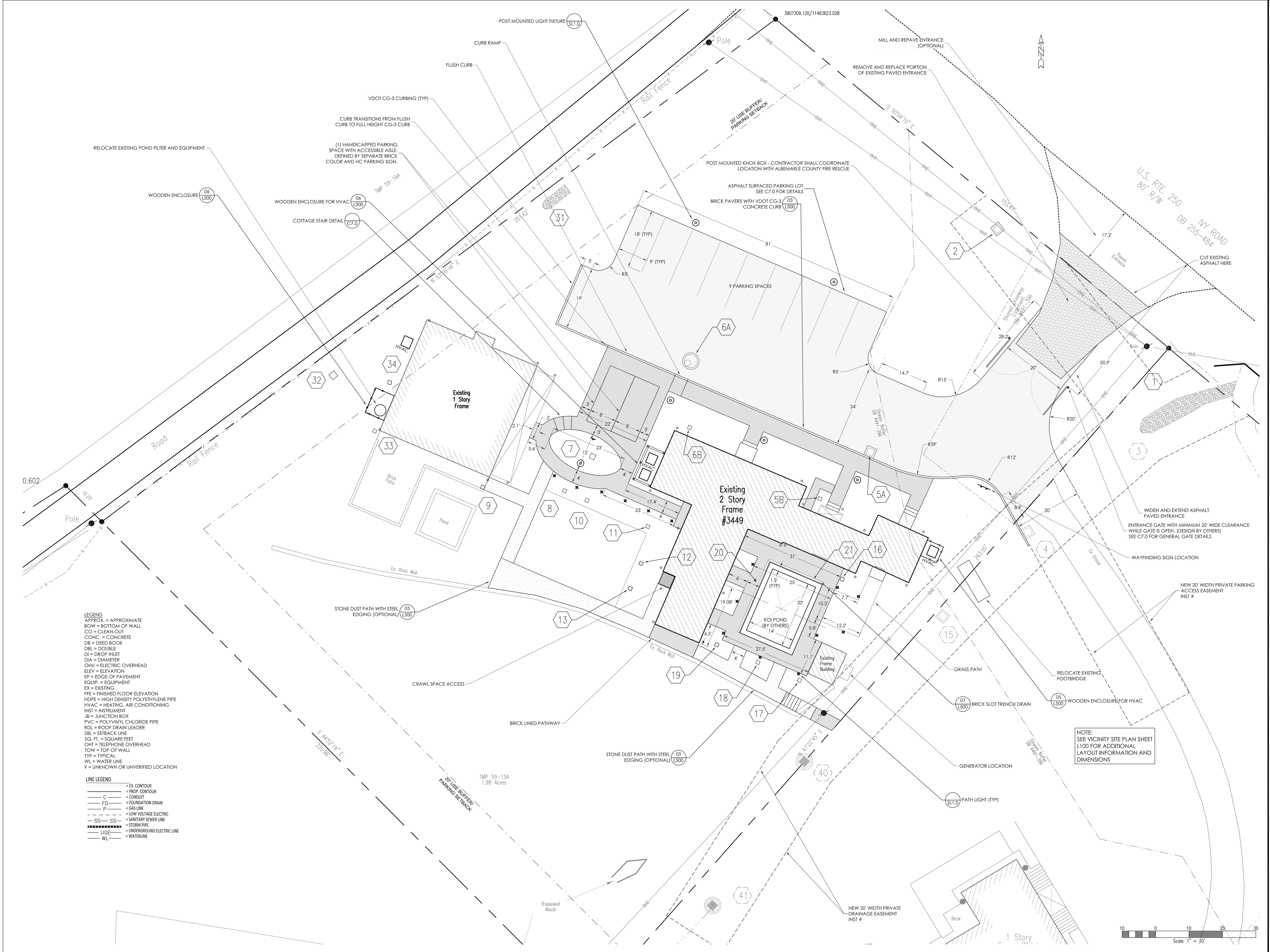
Date:  
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Revision:  
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 August 9, 2022

Scale:  
 1" = 10'

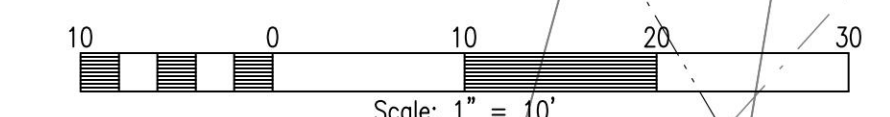
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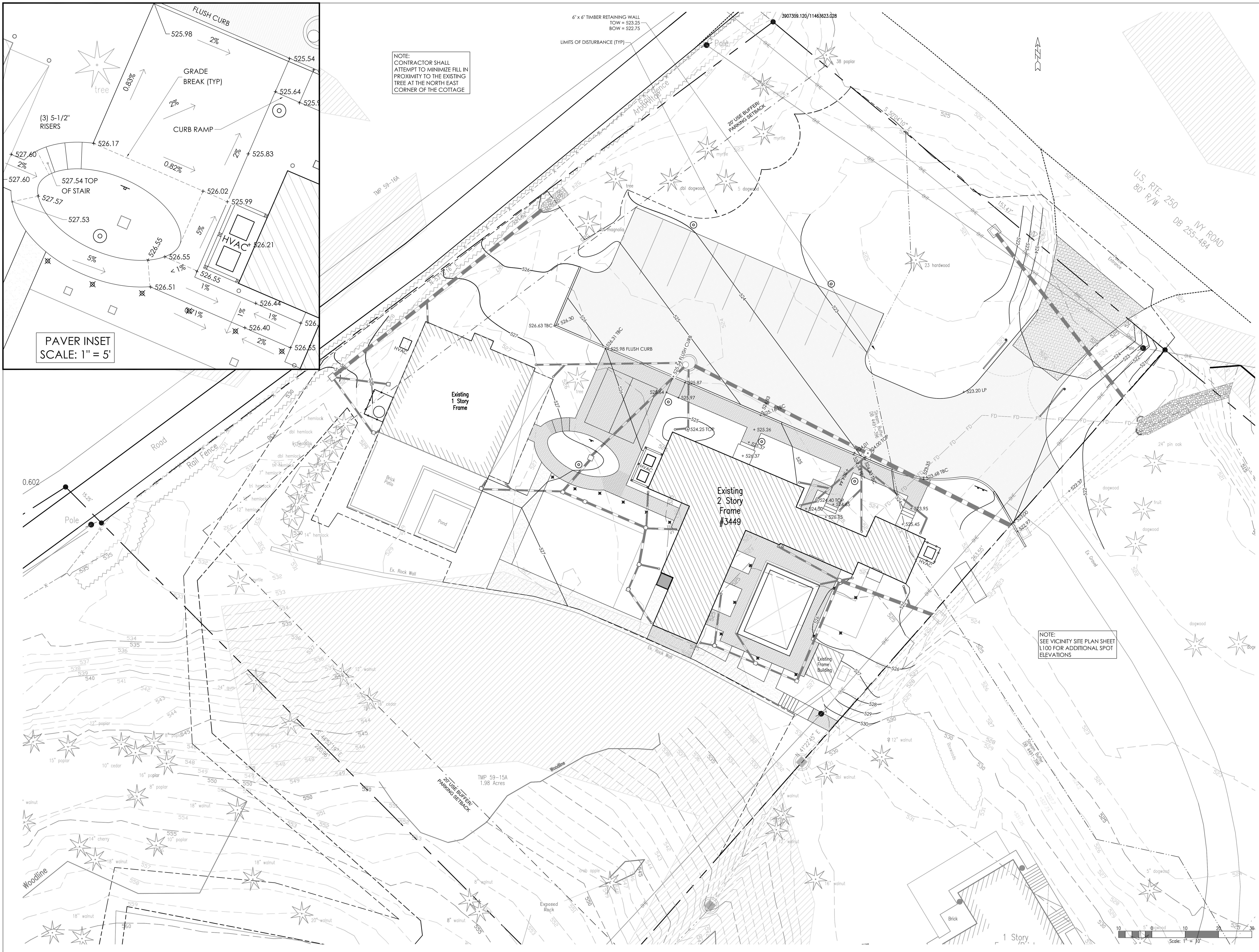
**C4.0**



- LEGEND**
- APPROX = APPROXIMATE
  - BOW = BOTTOM OF WALL
  - CO = CLEAN-OUT
  - CONC = CONCRETE
  - DB = DEED BOOK
  - DBL = DOUBLE
  - DI = DROP INLET
  - DIA = DIAMETER
  - OHU = ELECTRIC OVERHEAD
  - ELEV = ELEVATION
  - EP = EDGE OF PAVEMENT
  - EQUIP. = EQUIPMENT
  - EX = EXISTING
  - FFE = FINISHED FLOOR ELEVATION
  - HDPE = HIGH DENSITY POLYETHYLENE PIPE
  - HVAC = HEATING, AIR CONDITIONING
  - INST = INSTRUMENT
  - JB = JUNCTION BOX
  - PVC = POLYVINYL CHLORIDE PIPE
  - RDL = ROOF DRAIN LEADER
  - SBL = SETBACK LINE
  - SQ. FT. = SQUARE FEET
  - OHT = TELEPHONE OVERHEAD
  - TOW = TOP OF WALL
  - TYP = TYPICAL
  - WL = WATER LINE
  - ? = UNKNOWN OR UNVERIFIED LOCATION
- LINE LEGEND**
- - - - - = EX. CONTOUR
  - - - - - = PROP. CONTOUR
  - - - - - = C = CONDUIT
  - - - - - = FD = FOUNDATION DRAIN
  - - - - - = P = GAS LINE
  - - - - - = L = LOW VOLTAGE ELECTRIC
  - - - - - = SS = SANITARY SEWER LINE
  - - - - - = S = STORM PIPE
  - - - - - = U = UNDERGROUND ELECTRIC LINE
  - - - - - = WL = WATERLINE

NOTE:  
 SEE VICINITY SITE PLAN SHEET  
 L100 FOR ADDITIONAL  
 LAYOUT INFORMATION AND  
 DIMENSIONS





NOTE:  
CONTRACTOR SHALL  
ATTEMPT TO MINIMIZE FILL IN  
PROXIMITY TO THE EXISTING  
TREE AT THE NORTH EAST  
CORNER OF THE COTTAGE

6" x 6" TIMBER RETAINING WALL  
TOW = 523.25  
BOW = 522.75

PAVER INSET  
SCALE: 1" = 5'

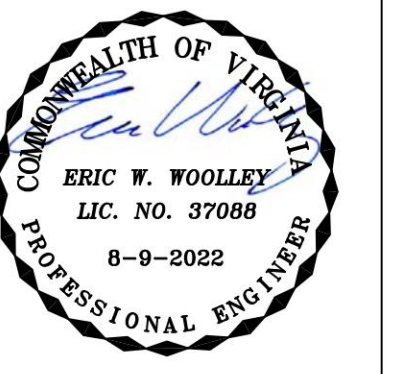
NOTE:  
SEE VICINITY SITE PLAN SHEET  
L100 FOR ADDITIONAL SPOT  
ELEVATIONS

**MAJOR  
SITE PLAN  
AMENDMENT**

**DS TAVERN  
Major Site Plan Amendment  
COUNTY OF ALBEMARLE, VIRGINIA**

**SITE  
GRADING  
PLAN**

Job Number:  
22010

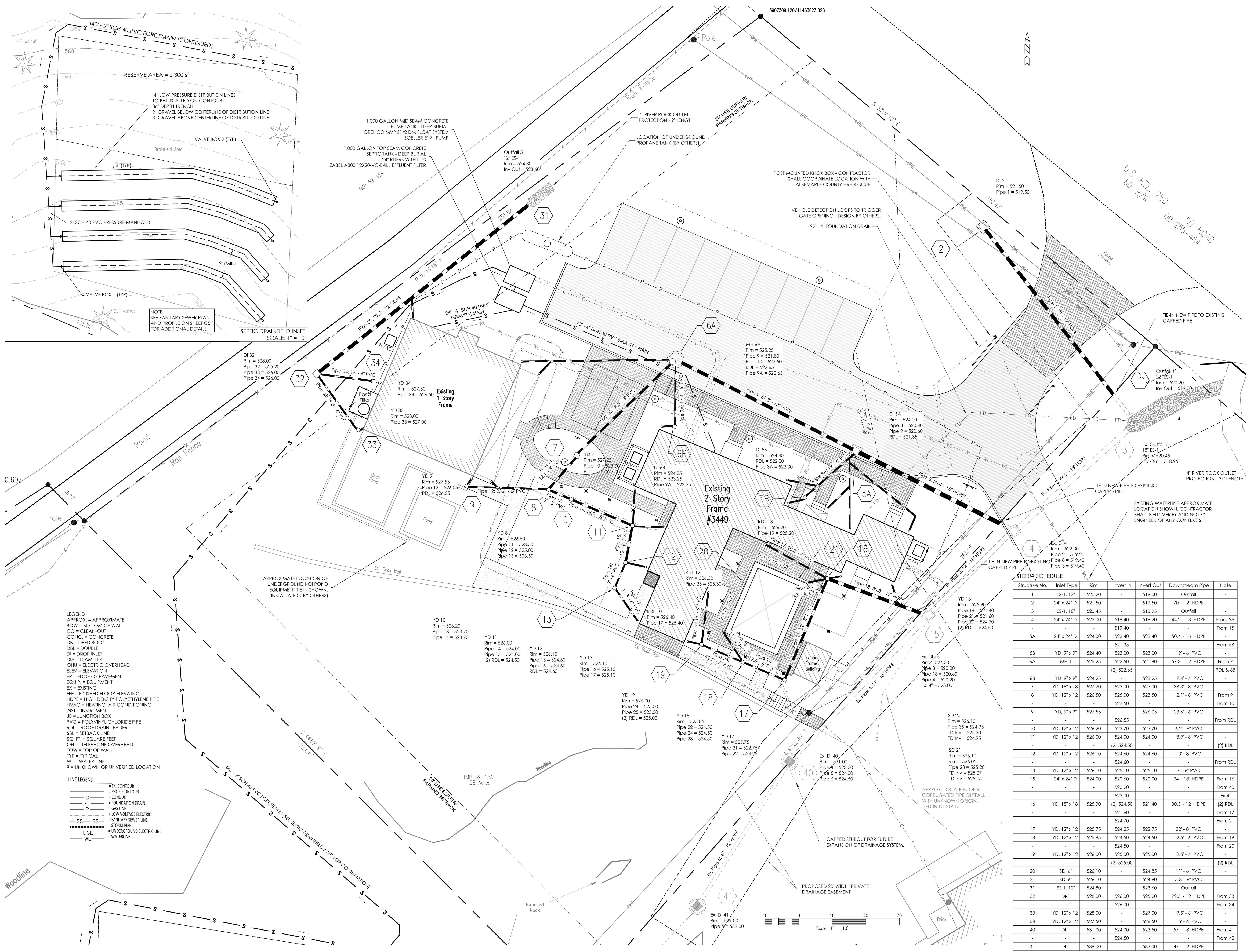
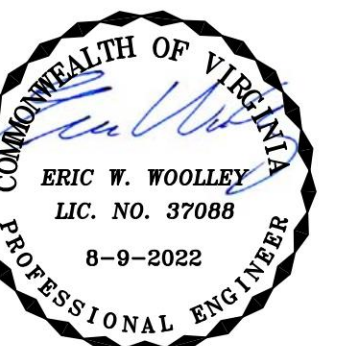


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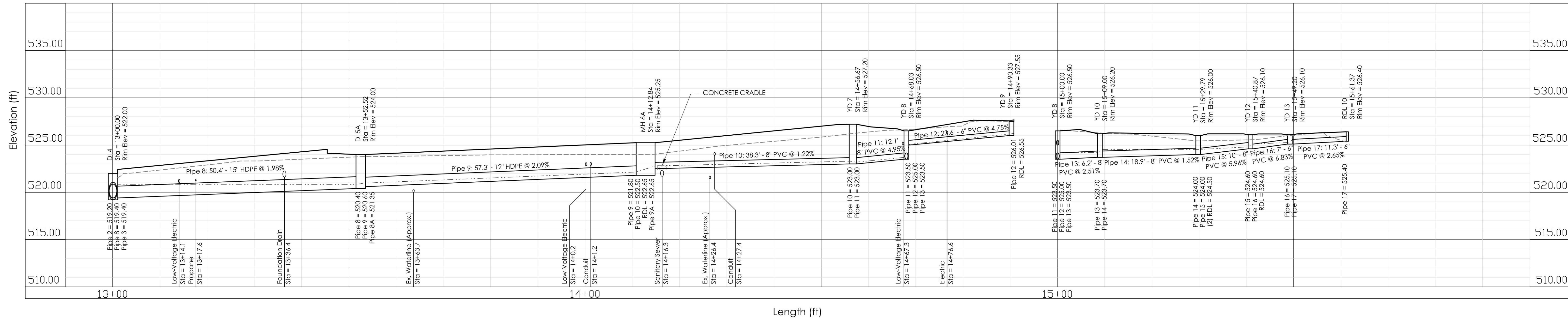
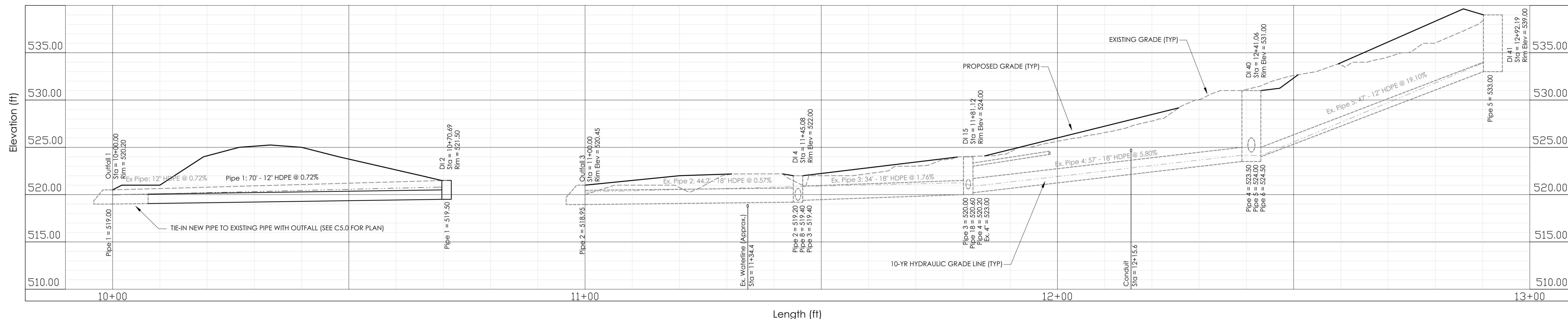
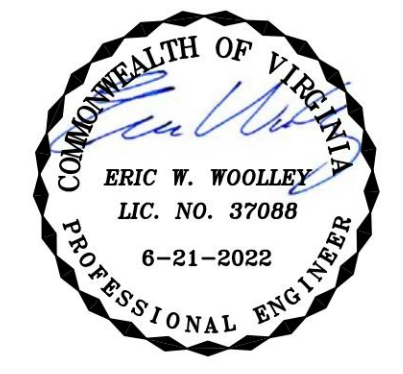
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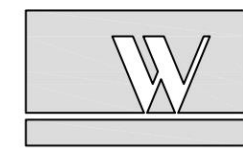
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**STORM SCHEDULE**

Structure No.	Inlet Type	Rim	Invert In	Invert Out	Downstream Pipe	Note
1	ES-1, 12"	520.20	-	519.00	Outfall	-
2	24" x 24" DI	521.50	-	519.50	70' - 12" HDPE	-
3	ES-1, 18"	520.45	-	518.95	Outfall	-
4	24" x 24" DI	522.00	519.40	519.20	44.2' - 18" HDPE	From 5A
5A	24" x 24" DI	524.00	523.40	523.40	50.4' - 15" HDPE	From 15
5B	YD, 9" x 9"	524.40	523.00	523.00	19' - 6" PVC	From 5B
6A	MH-1	525.25	522.50	521.80	57.3' - 12" HDPE	From 7
6B	YD, 9" x 9"	524.25	523.00	523.00	17.4' - 6" PVC	RDL & 6B
7	YD, 18" x 18"	527.20	523.00	523.00	38.3' - 8" PVC	-
8	YD, 12" x 12"	526.50	525.00	523.50	12.1' - 8" PVC	From 9
9	YD, 9" x 9"	527.55	526.05	523.50	23.6' - 6" PVC	From 10
10	-	-	526.55	-	-	From RDL
11	YD, 12" x 12"	526.20	523.70	523.70	6.2' - 8" PVC	-
12	YD, 12" x 12"	526.00	524.00	524.00	18.9' - 8" PVC	-
13	YD, 12" x 12"	526.10	524.60	524.60	10' - 8" PVC	-
14	24" x 24" DI	524.00	520.00	520.00	34' - 18" HDPE	From 16
15	-	520.20	-	523.00	-	From 40
16	YD, 18" x 18"	525.90	524.50	521.40	30.3' - 12" HDPE	Ex 4"
17	YD, 12" x 12"	525.75	524.25	522.75	32' - 8" PVC	From 17
18	YD, 12" x 12"	525.85	524.50	524.50	12.5' - 6" PVC	From 19
19	YD, 12" x 12"	526.00	525.00	525.00	12.5' - 6" PVC	From 20
20	SD, 6"	526.10	-	524.85	11' - 6" PVC	-
21	SD, 6"	526.10	-	524.90	5.3' - 6" PVC	-
31	ES-1, 12"	524.80	-	523.60	Outfall	-
32	DI-1	528.00	526.00	525.20	79.5' - 12" HDPE	From 33
33	YD, 12" x 12"	528.00	-	527.00	19.5' - 6" PVC	From 34
34	YD, 12" x 12"	527.50	-	526.50	15' - 6" PVC	-
40	DI-1	531.00	524.00	523.50	57' - 18" HDPE	From 41
41	DI-1	539.00	-	533.00	47' - 12" HDPE	From 42





Owner:  
 Ivy Road RE LLC  
 800 E Canal Street  
 Ste 1900  
 Richmond, Virginia  
 23219

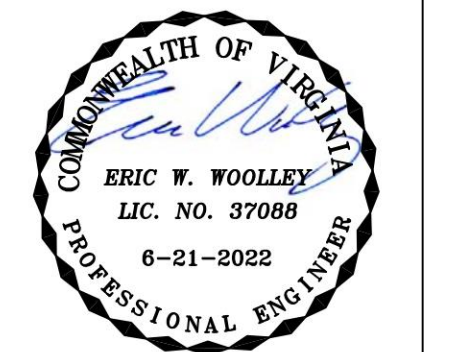
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 anholdla.com

**MAJOR  
 SITE PLAN  
 AMENDMENT**

**DS TAVERN  
 Major Site Plan Amendment  
 COUNTY OF ALBEMARLE, VIRGINIA**

**SEPTIC  
 PLAN &  
 PROFILE**

Job Number:  
 22010



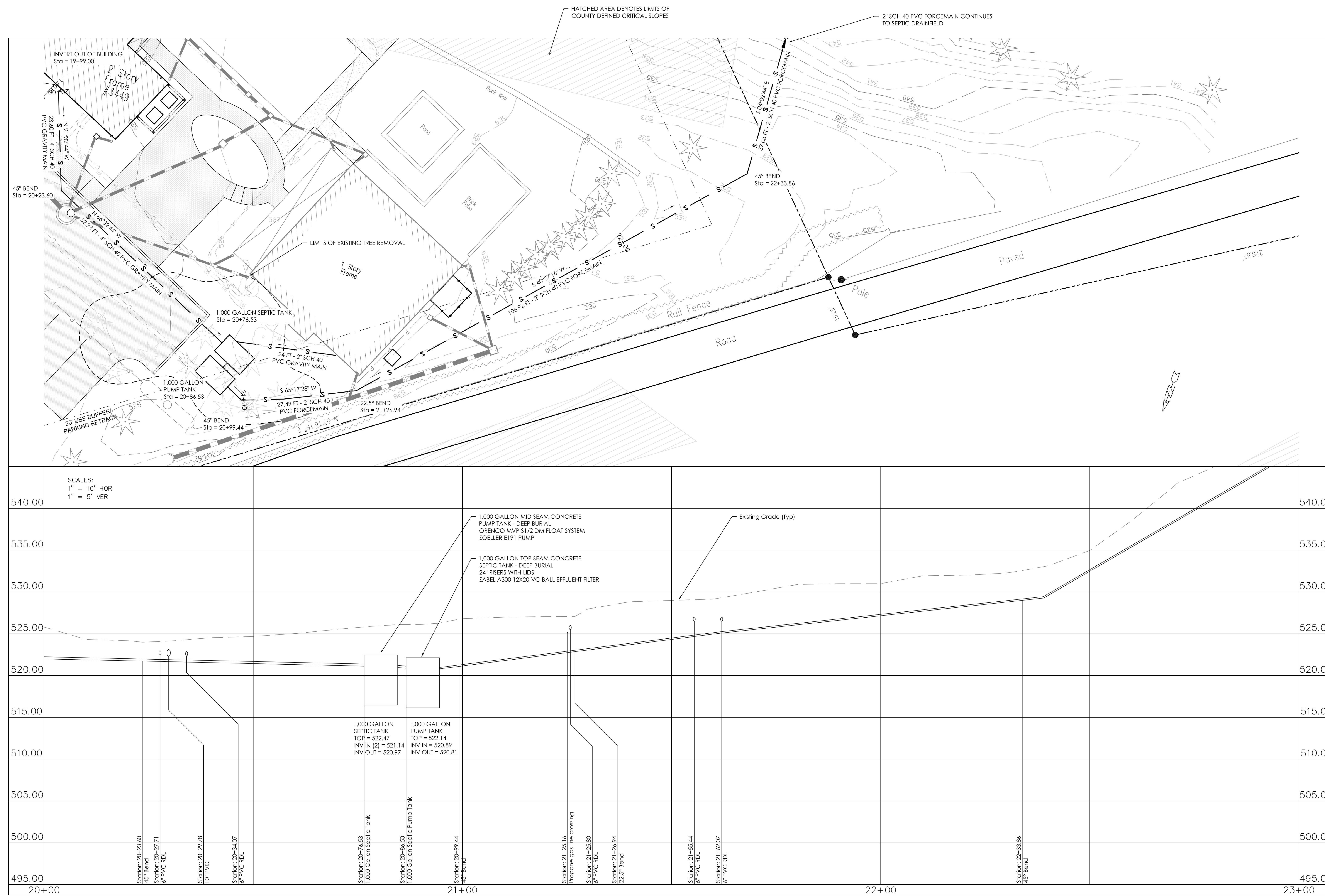
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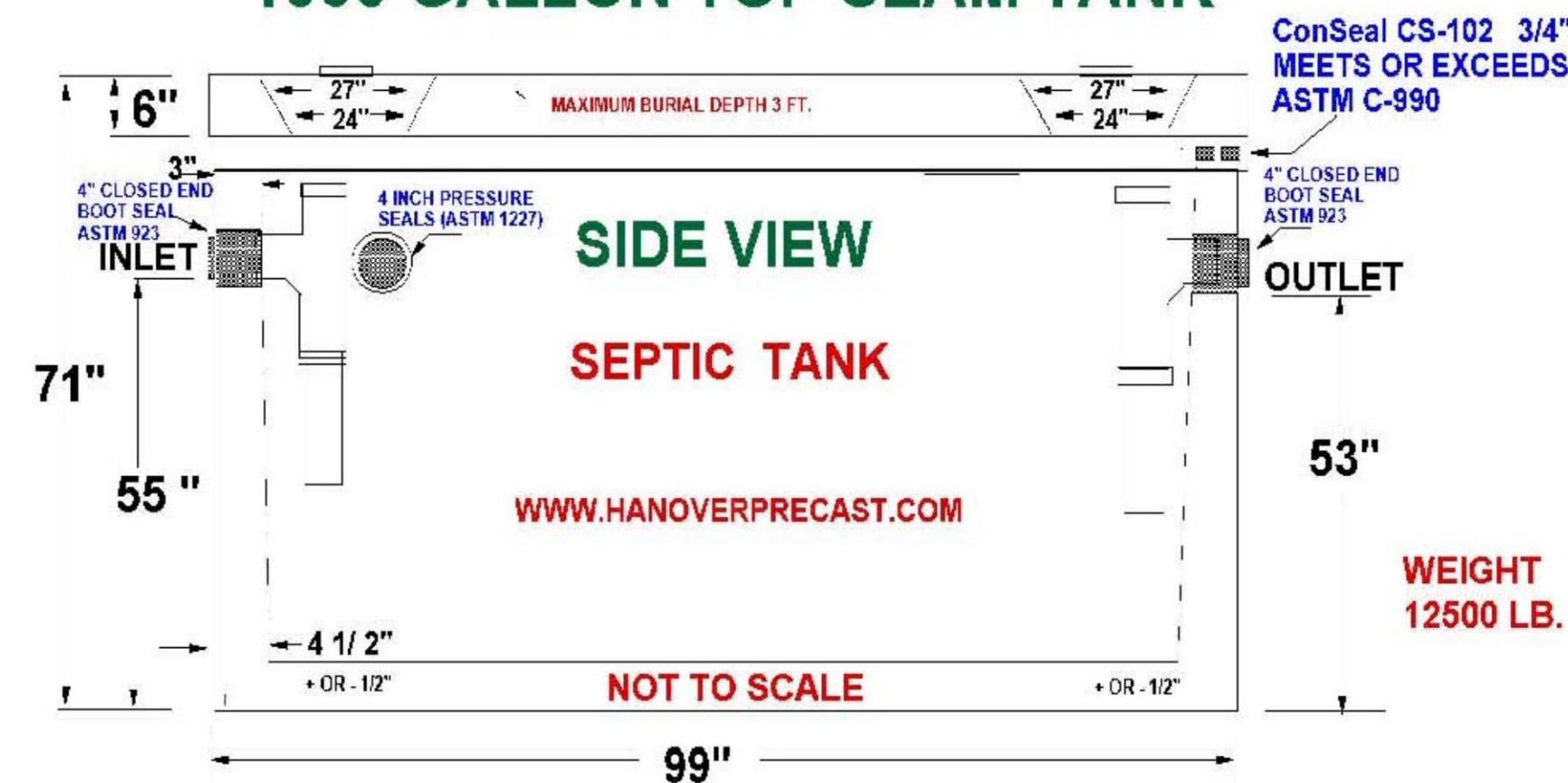
**C5.2**



NOTE:  
 THIS PLAN SHEET IS FOR  
 SANITARY PLAN ONLY

# Hanover PRECAST

## 1000 GALLON TOP SEAM TANK



NOTE:  
DEEP BURIAL  
REQUIRED

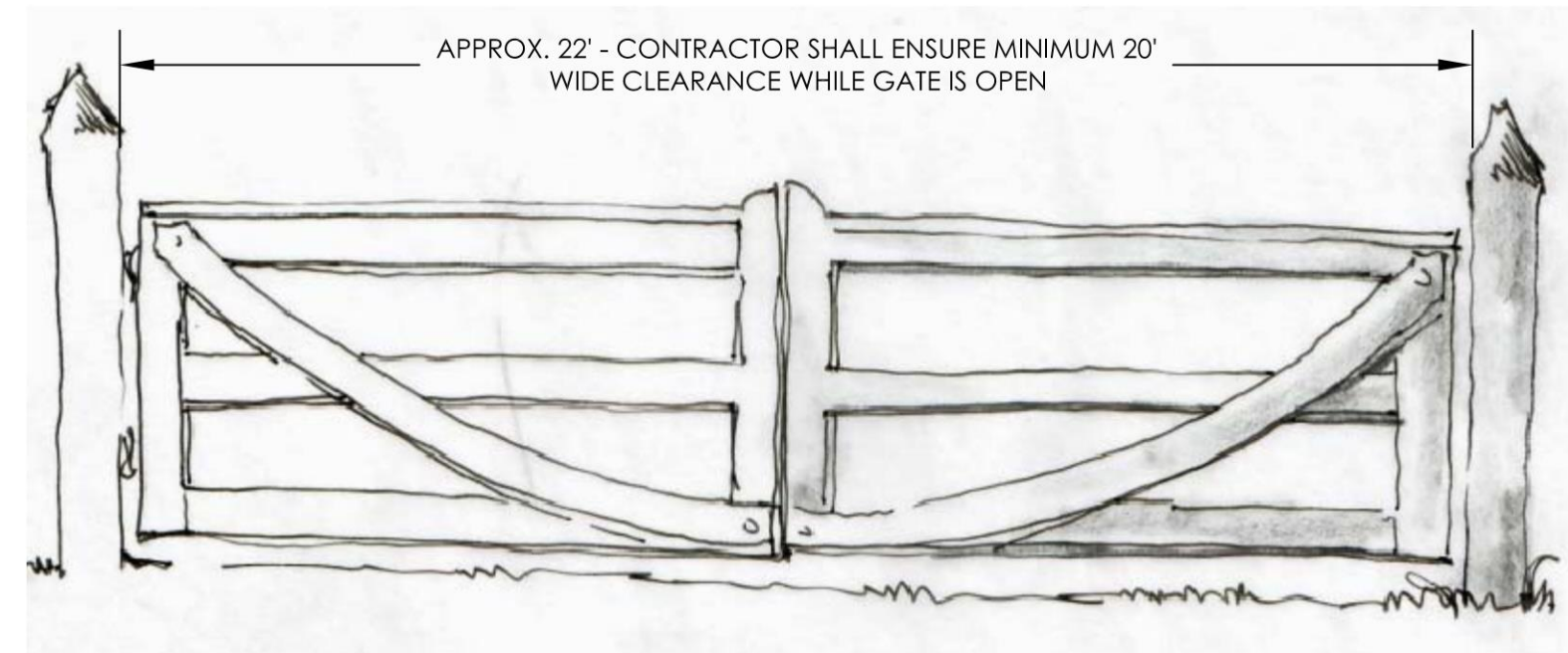
INLET AND OUTLET HAVE 4 INCH CLOSED END BOOT SEALS. MEETS OR EXCEEDS ASTM 1227 & 923. SIDE INLETS HAVE PRESSURE SEALS. NO RUST POLY HANDLES.

TOP VIEW  
4" PVC SQUARE INSPECTION PORT  
24" INCH ROUND TAPER MANWAY

6X6X10X10 REINFORCING WIRE ON SIDES. TOP HAS #5 REBAR 5000 PSI CONCRETE WITH FIBER FOR SECONDARY REINFORCEMENT

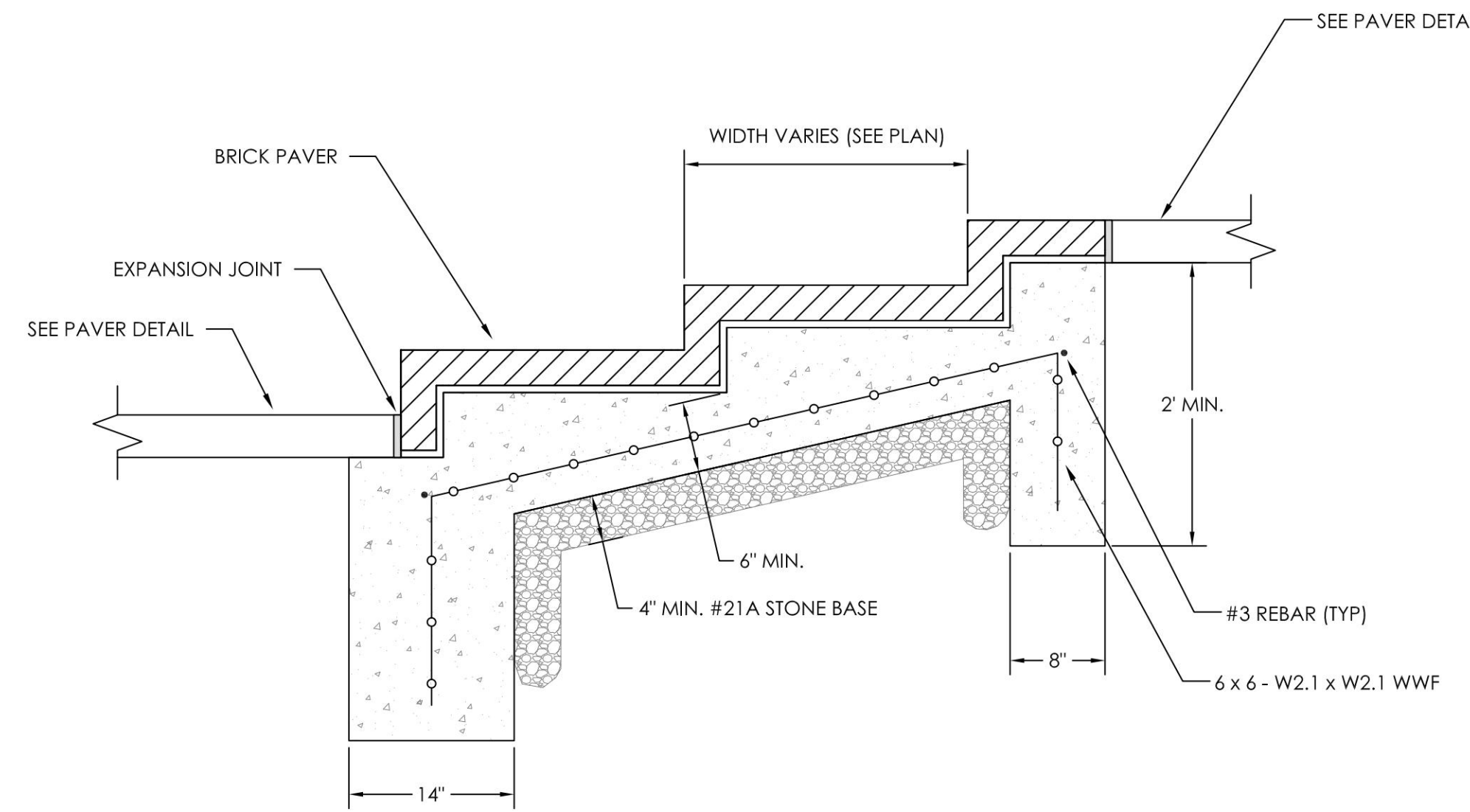
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(804) 798-2336 FAX (804) 798-2339 JANUARY 2015 PAGE 2

1,000 GALLON SEPTIC TANK DETAIL  
n.t.s.



NOTES:  
GATE DESIGN - BY OTHERS  
SEE MANUFACTURER SPECIFICATIONS FOR ELECTRICAL GATE COMPONENTS, WIRING, AND ACCESS HARDWARE.  
CONTRACTOR SHALL ENSURE MINIMUM OF 20' WIDE CLEARANCE WHEN GATE IS OPEN  
CONTRACTOR TO COORDINATE LOCATION OF KNOX BOX WITH ALBEMARLE COUNTY FIRE RESCUE

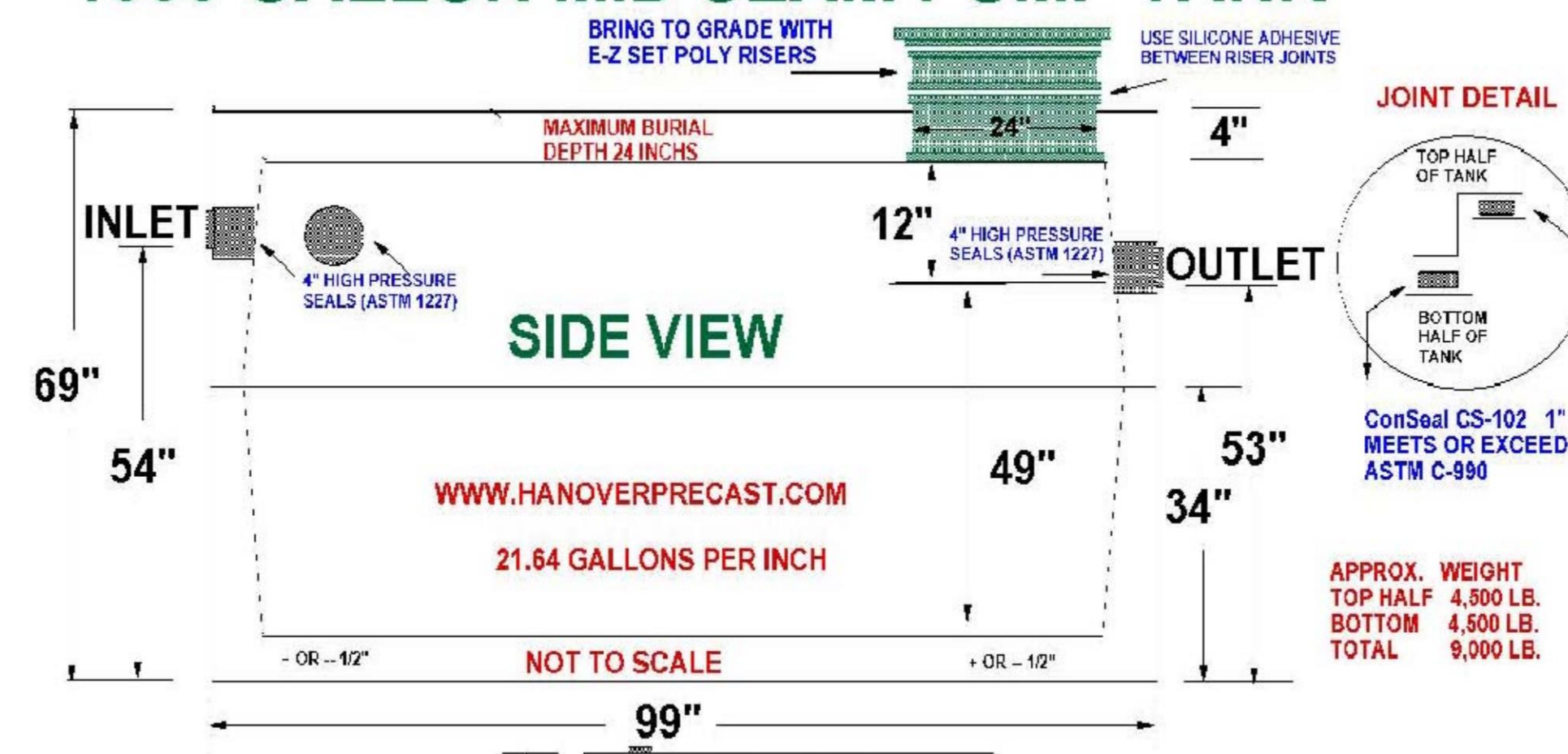
ENTRANCE GATE DETAIL  
N.T.S.



COTTAGE STAIR DETAIL  
N.T.S.

# Hanover PRECAST

## 1000 GALLON MID SEAM PUMP TANK



NOTE:  
DEEP BURIAL  
REQUIRED

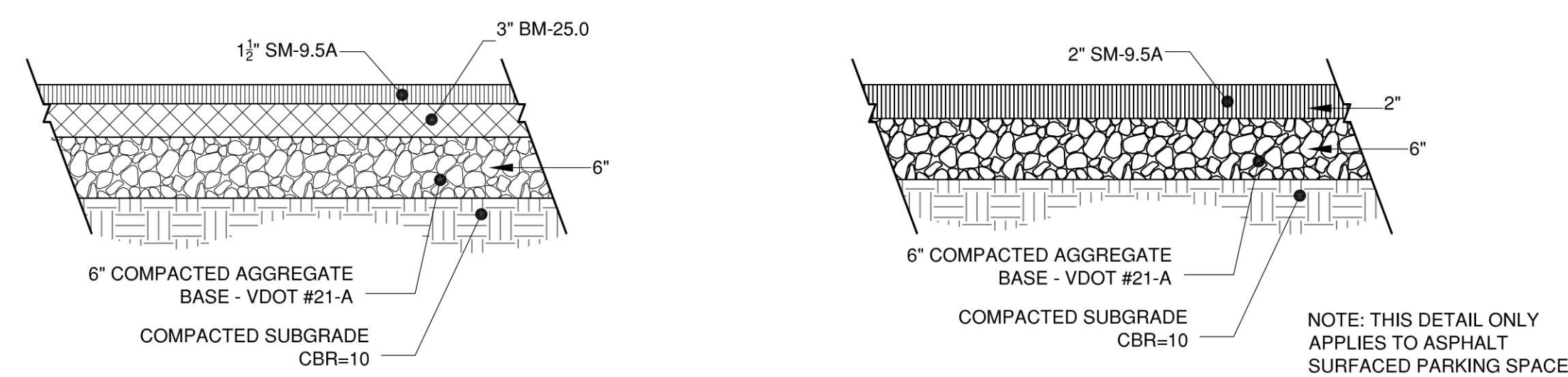
INLETS & OUTLETS HAVE 4 INCH HIGH PRESSURE PIPE SEALS. MEETS OR EXCEEDS ASTM 1227 (10 PSI)

TOP VIEW  
24" E-Z SET POLY RISER  
USE 30" RISER FOR DUPLEX PUMPS

6X6X10X10 REINFORCING WIRE 5000 + PSI CONCRETE WITH FIBER FOR SECONDARY REINFORCEMENT

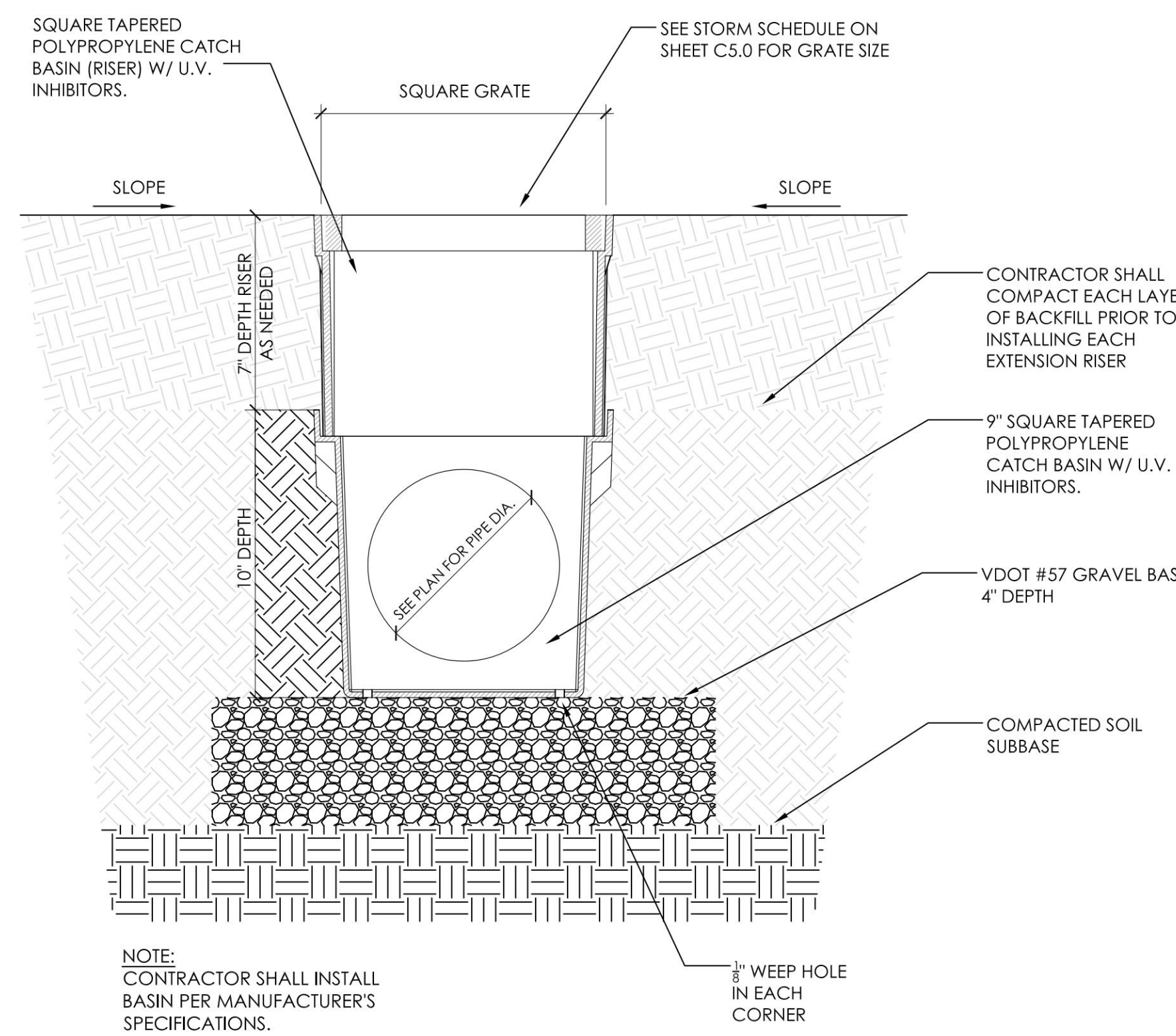
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1,000 GALLON SEPTIC PUMP TANK DETAIL  
n.t.s.

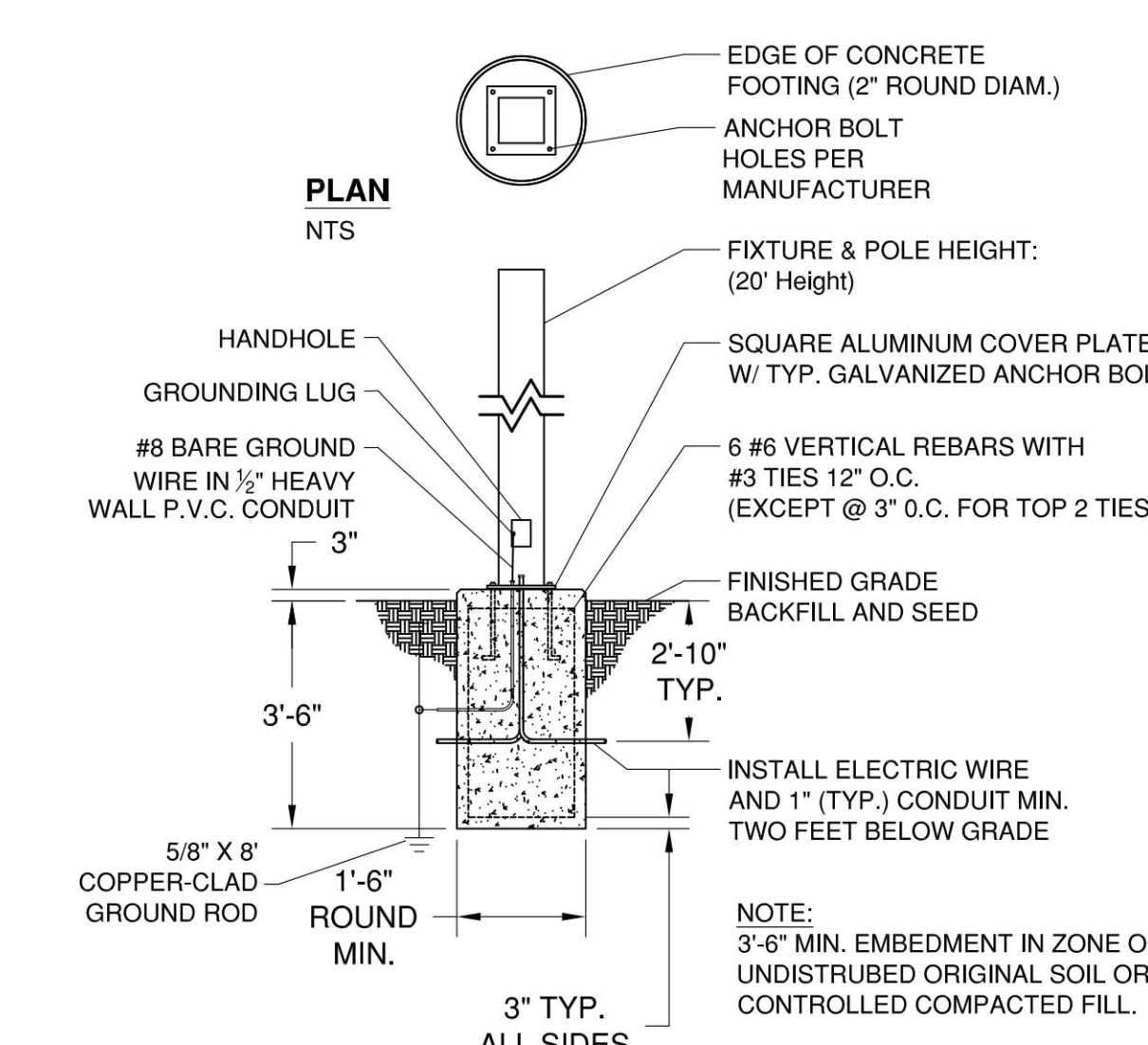


ASPHALT PAVING SECTION DETAIL - DRIVE AISLE  
n.t.s.

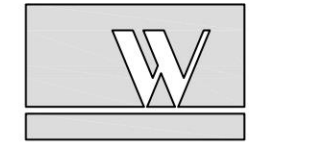
ASPHALT PAVING SECTION DETAIL - PARKING SPACE  
n.t.s.



YARD DRAINS  
N.T.S.



CONCRETE SITE LIGHT PEDESTAL  
N.T.S.



WOOLLEY ENGINEERING  
Consulting Civil Engineers  
210 5th Street NE  
Charlottesville - Virginia 22902  
(534) 973-0845  
www.Woolley-Eng.com

Owner:  
Ivy Road RE LLC  
800 E Canal Street  
Ste 1900  
Richmond, Virginia  
23219

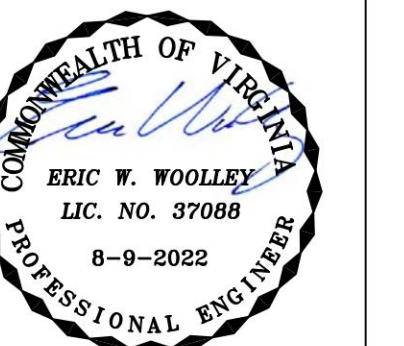
Landscape Architect:  
Anhold Associates  
8311 Rockfish Gap Turnpike  
Greenwood, VA 22943  
434.882.3420  
anhold.com

MAJOR  
SITE PLAN  
AMENDMENT

DS TAVERN  
Major Site Plan Amendment  
COUNTY OF ALBEMARLE, VIRGINIA

GENERAL  
DETAILS

Job Number:  
22010



Date:  
April 8, 2022

Revision:  
June 21, 2022  
August 9, 2022

Scale:  
1" = 10'

Sheet No.:

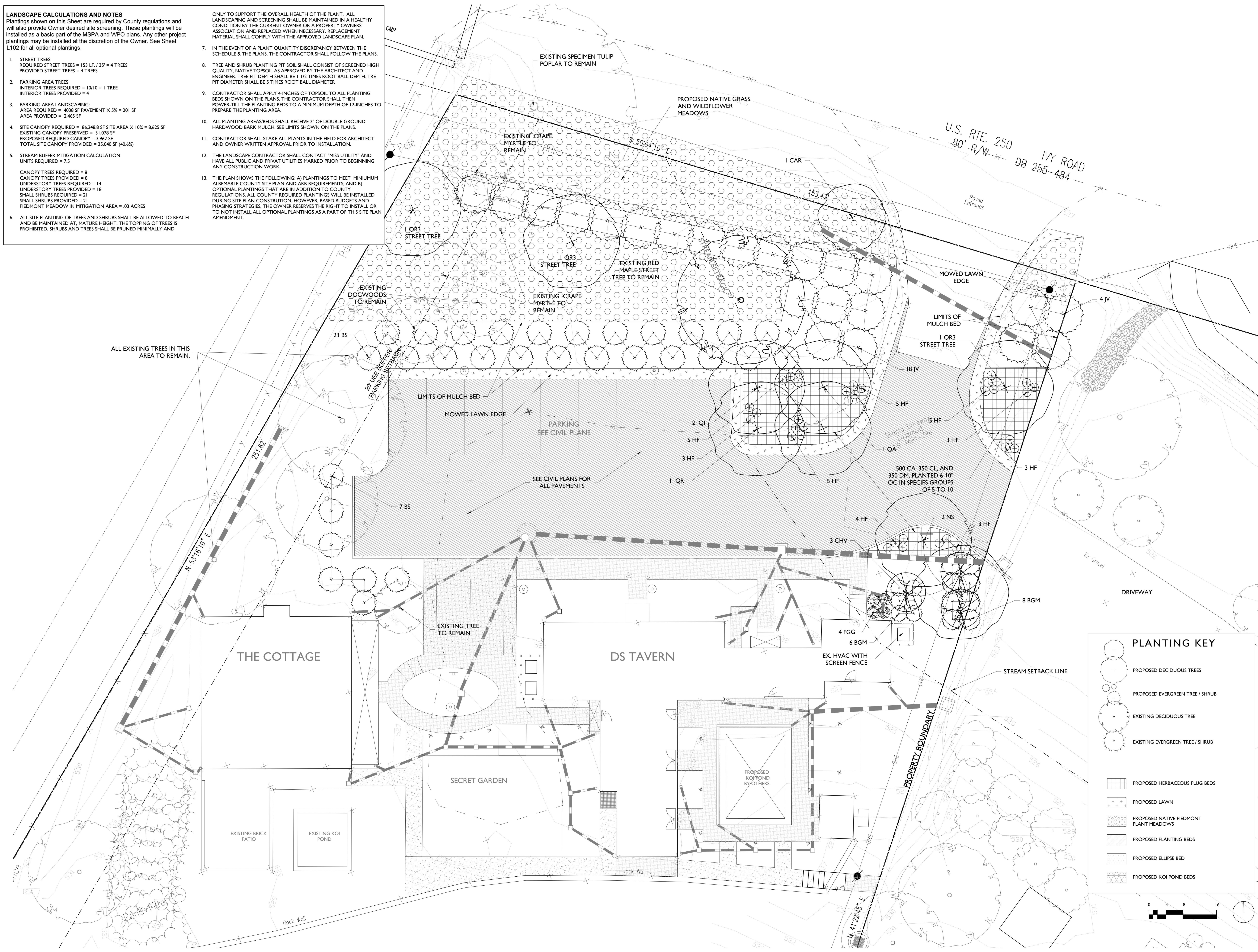
C7.0



**LANDSCAPE CALCULATIONS AND NOTES**  
 Plantings shown on this Sheet are required by County regulations and will also provide Owner desired site screening. These plantings will be installed as a basic part of the MSPA and WPO plans. Any other project plantings may be installed at the discretion of the Owner. See Sheet L102 for all optional plantings.

- STREET TREES  
 REQUIRED STREET TREES = 153 LF / 35' = 4 TREES  
 PROVIDED STREET TREES = 4 TREES
- PARKING AREA TREES  
 INTERIOR TREES PROVIDED = 10/10 = 1 TREE  
 INTERIOR TREES PROVIDED = 4
- PARKING AREA LANDSCAPING:  
 AREA REQUIRED = 4038 SF PAVEMENT X 5% = 201 SF  
 AREA PROVIDED = 2,465 SF
- SITE CANOPY REQUIRED = 86,248.8 SF SITE AREA X 10% = 8,625 SF  
 EXISTING CANOPY PRESERVED = 31,078 SF  
 PROPOSED REQUIRED CANOPY = 3,963 SF  
 TOTAL SITE CANOPY PROVIDED = 35,040 SF (40.6%)
- STREAM BUFFER MITIGATION CALCULATION  
 UNITS REQUIRED = 7.5  
 CANOPY TREES REQUIRED = 8  
 CANOPY TREES PROVIDED = 8  
 UNDERSTORY TREES REQUIRED = 14  
 UNDERSTORY TREES PROVIDED = 18  
 SMALL SHRUBS REQUIRED = 21  
 SMALL SHRUBS PROVIDED = 21  
 PIEDMONT MEADOW IN MITIGATION AREA = .03 ACRES
- ALL SITE PLANTING OF TREES AND SHRUBS SHALL BE ALLOWED TO REACH AND BE MAINTAINED AT MATURE HEIGHT. THE TOPPING OF TREES IS PROHIBITED. SHRUBS AND TREES SHALL BE PRUNED MINIMALLY AND

- ONLY TO SUPPORT THE OVERALL HEALTH OF THE PLANT. ALL LANDSCAPING AND SCREENING SHALL BE MAINTAINED IN A HEALTHY CONDITION BY THE CURRENT OWNER OR A PROPERTY OWNERS' ASSOCIATION AND REPLACED WHEN NECESSARY. REPLACEMENT MATERIAL SHALL COMPLY WITH THE APPROVED LANDSCAPE PLAN.
- IN THE EVENT OF A PLANT QUANTITY DISCREPANCY BETWEEN THE SCHEDULE & THE PLANS, THE CONTRACTOR SHALL FOLLOW THE PLANS.
- TREE AND SHRUB PLANTING PIT SOIL SHALL CONSIST OF SCREENED HIGH QUALITY, NATIVE TOPSOIL AS APPROVED BY THE ARCHITECT AND ENGINEER. TREE PIT DEPTH SHALL BE 1-1/2 TIMES ROOT BALL DEPTH. TREE PIT DIAMETER SHALL BE 5 TIMES ROOT BALL DIAMETER.
- CONTRACTOR SHALL APPLY 4 INCHES OF TOPSOIL TO ALL PLANTING BEDS SHOWN ON THE PLANS. THE CONTRACTOR SHALL THEN POWER-TILL THE PLANTING BEDS TO A MINIMUM DEPTH OF 12 INCHES TO PREPARE THE PLANTING AREA.
- ALL PLANTING AREAS/BEDS SHALL RECEIVE 2" OF DOUBLE-GROUND HARDWOOD BARK MULCH. SEE LIMITS SHOWN ON THE PLANS.
- CONTRACTOR SHALL STAKE ALL PLANTS IN THE FIELD FOR ARCHITECT AND OWNER WRITTEN APPROVAL PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL CONTACT "MISS UTILITY" AND HAVE ALL PUBLIC AND PRIVATE UTILITIES MARKED PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
- THE PLAN SHOWS THE FOLLOWING: A) PLANTINGS TO MEET MINIMUM ALBEMARLE COUNTY SITE PLAN AND ARB REQUIREMENTS, AND B) OPTIONAL PLANTINGS THAT ARE IN ADDITION TO COUNTY REGULATIONS. ALL COUNTY REQUIRED PLANTINGS WILL BE INSTALLED DURING SITE PLAN CONSTRUCTION. HOWEVER, BASED BUDGETS AND PHASING STRATEGIES, THE OWNER RESERVES THE RIGHT TO INSTALL OR TO NOT INSTALL ALL OPTIONAL PLANTINGS AS A PART OF THIS SITE PLAN AMENDMENT.

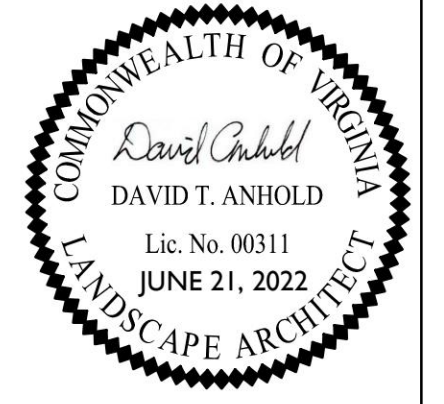


**MAJOR  
 SITE PLAN  
 AMENDMENT**

**DS TAVERN  
 Major Site Plan Amendment  
 COUNTY OF ALBEMARLE, VIRGINIA**

**PLANTING  
 PLAN**

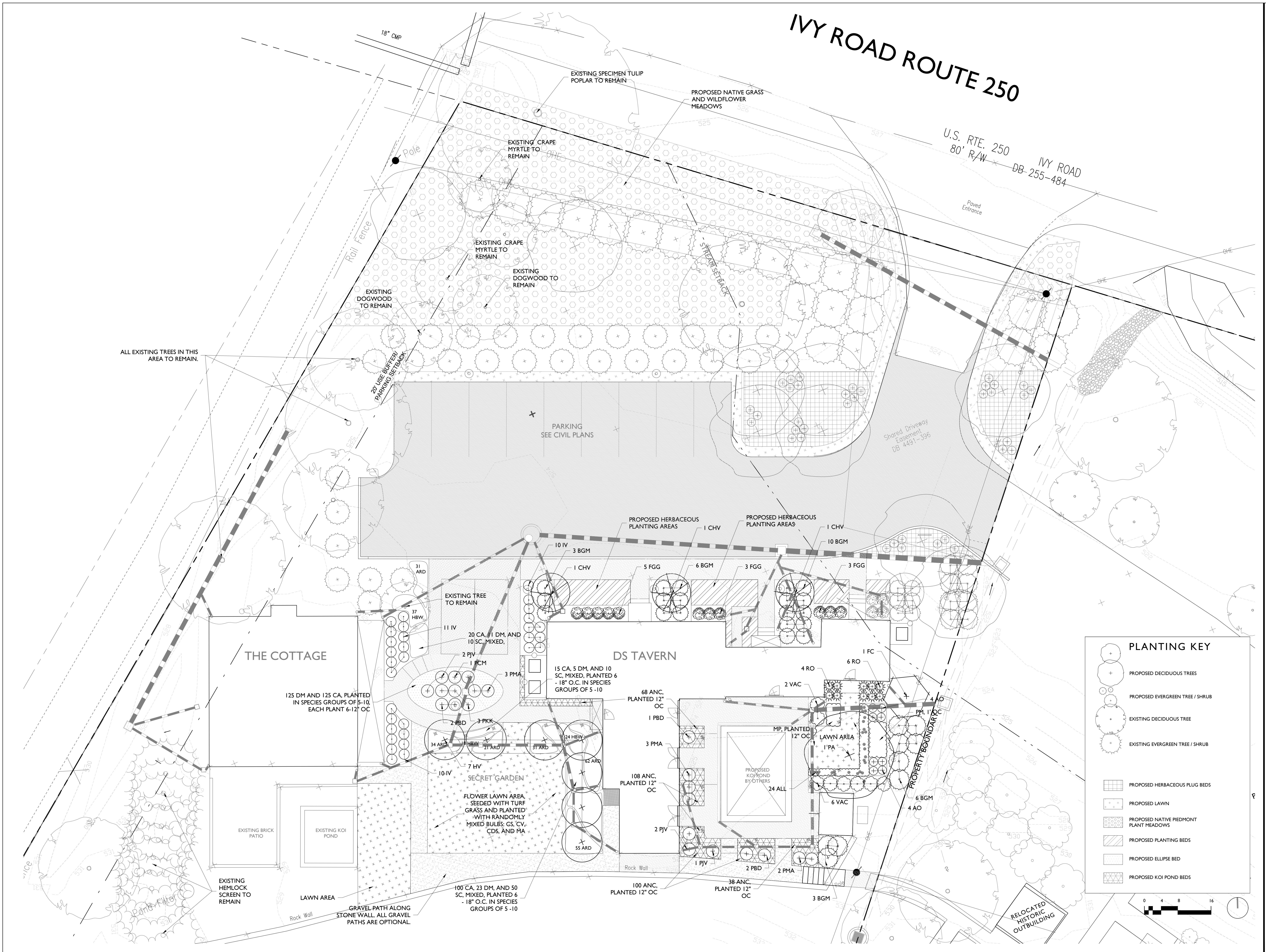
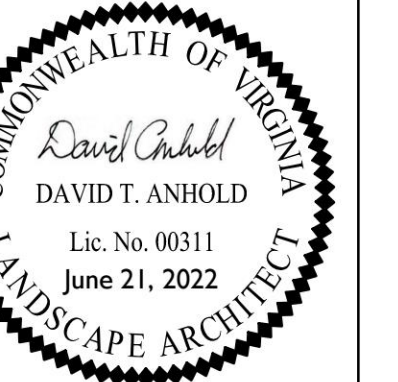
Job Number:  
 22010



Date:  
 April 8, 2022  
 Revision:  
 6/21/22

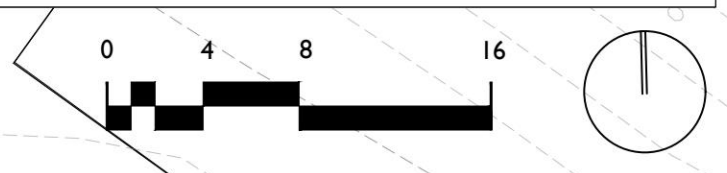
Scale:  
 1/8" = 1'-0"

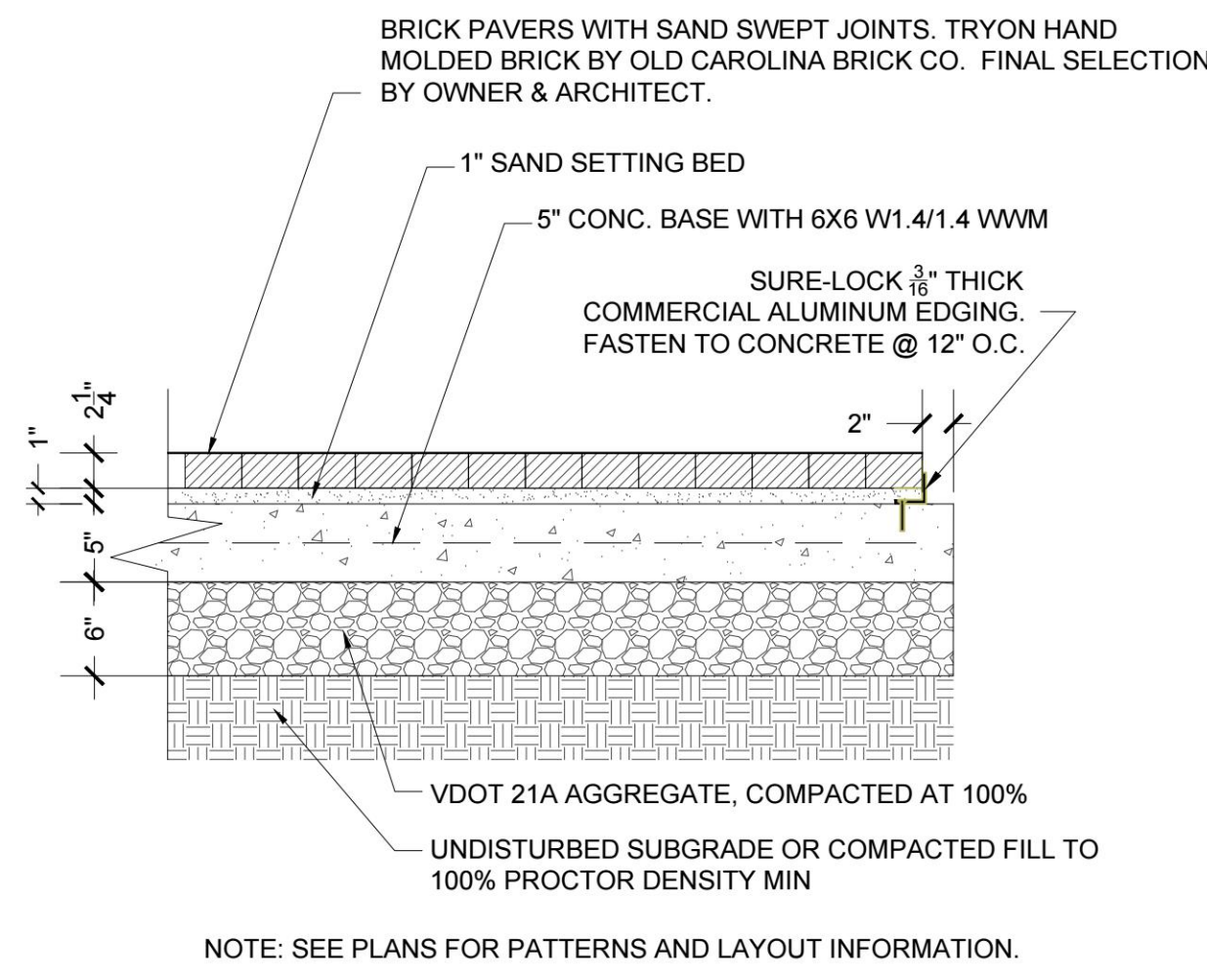
Sheet No.:



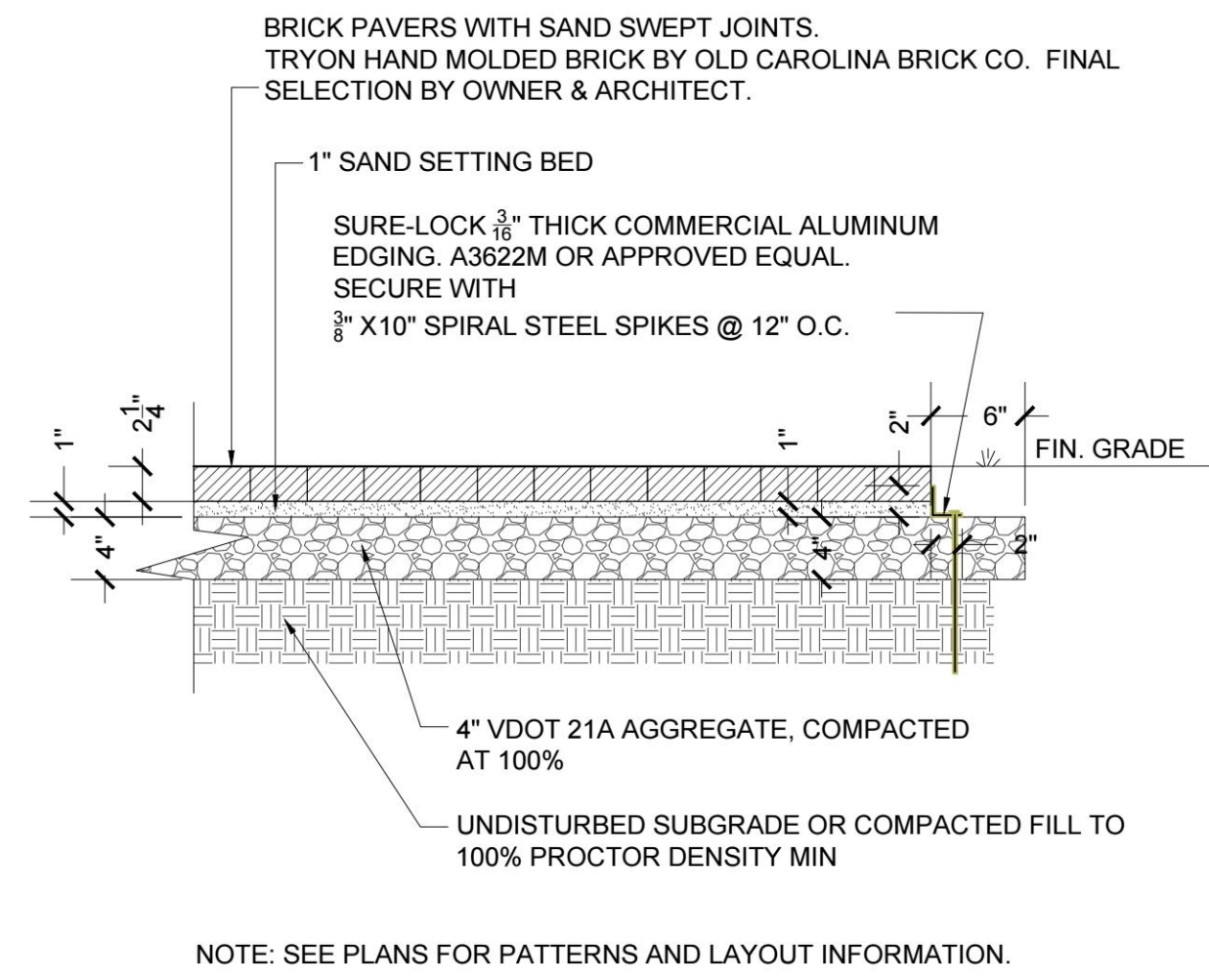
**PLANTING KEY**

- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREE / SHRUB
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE / SHRUB
- PROPOSED HERBACEOUS PLUG BEDS
- PROPOSED LAWN
- PROPOSED NATIVE PIEDMONT PLANT MEADOWS
- PROPOSED PLANTING BEDS
- PROPOSED ELLIPSE BED
- PROPOSED KOI POND BEDS

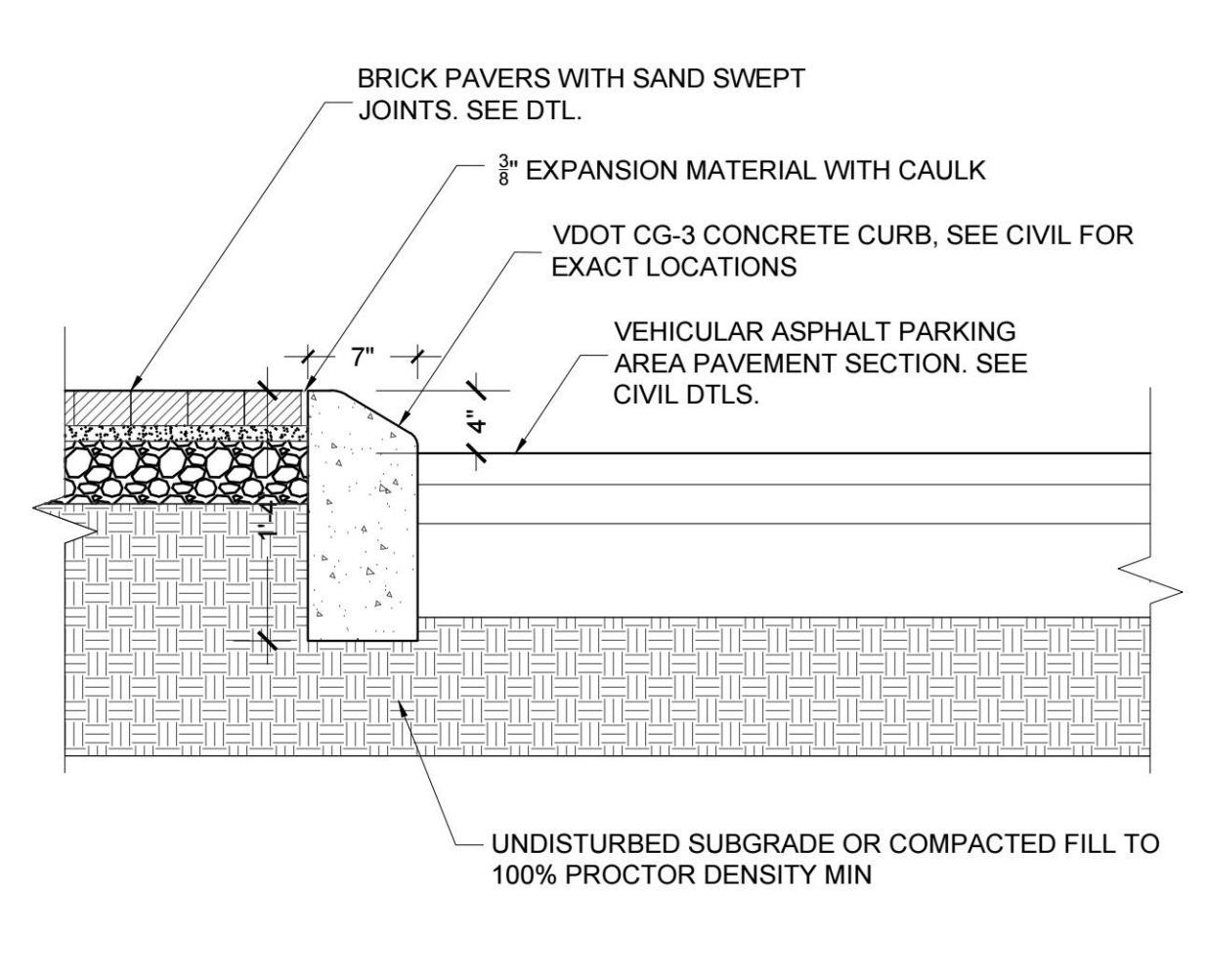




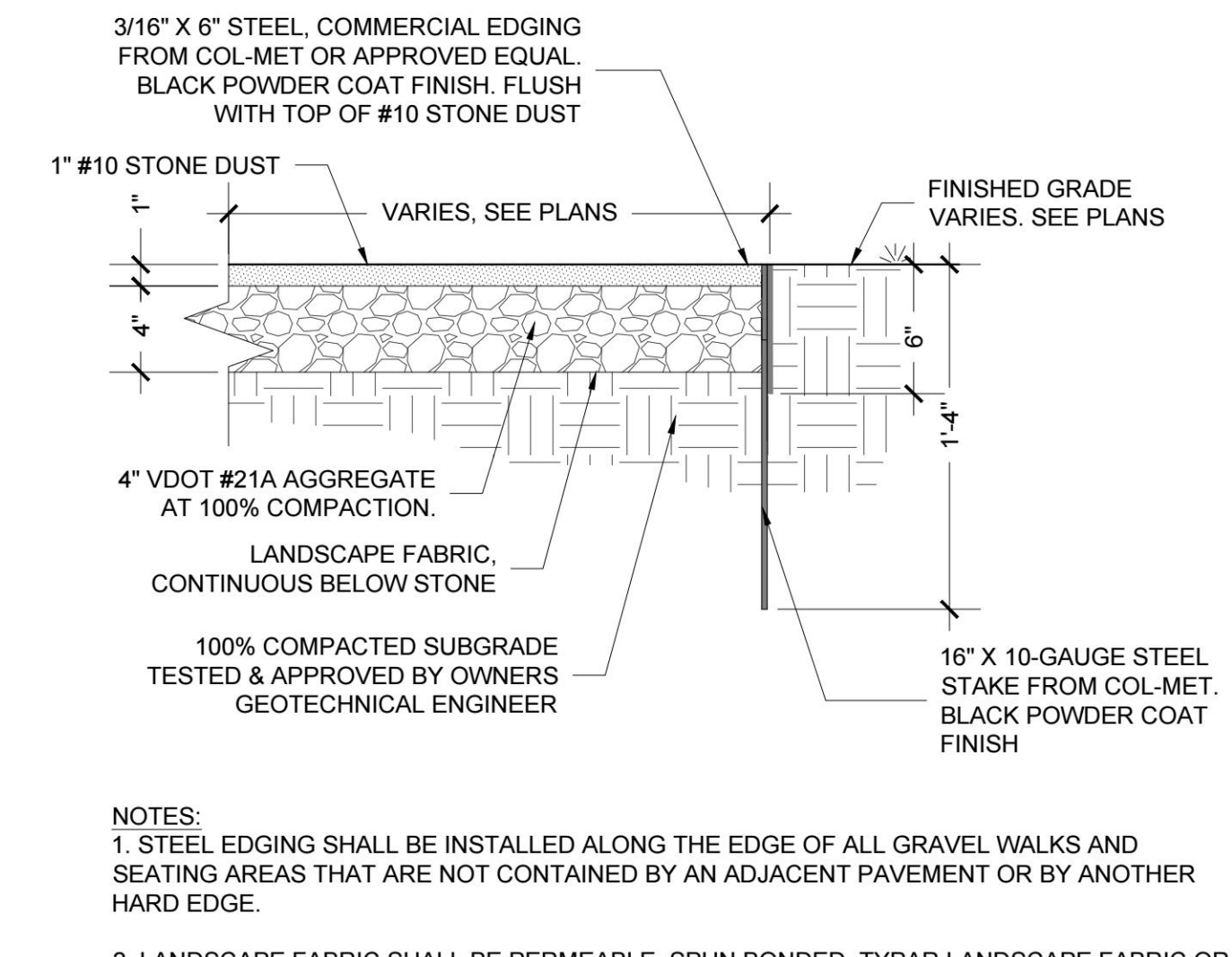
01 L500 BRICK PAVERS - VEHICULAR  
1"=1'-0"



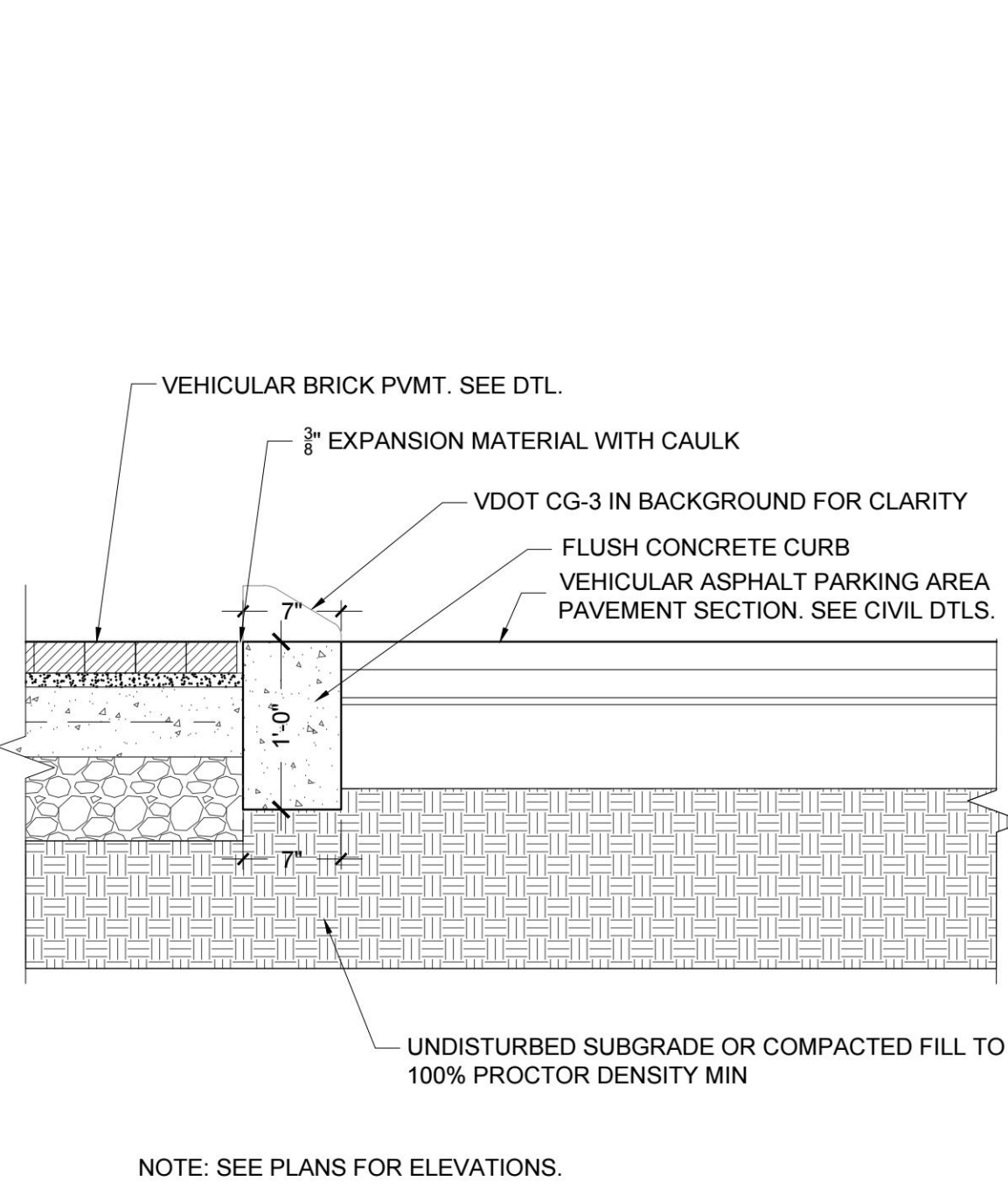
02 L500 BRICK PAVERS - SAND SET  
1"=1'-0"



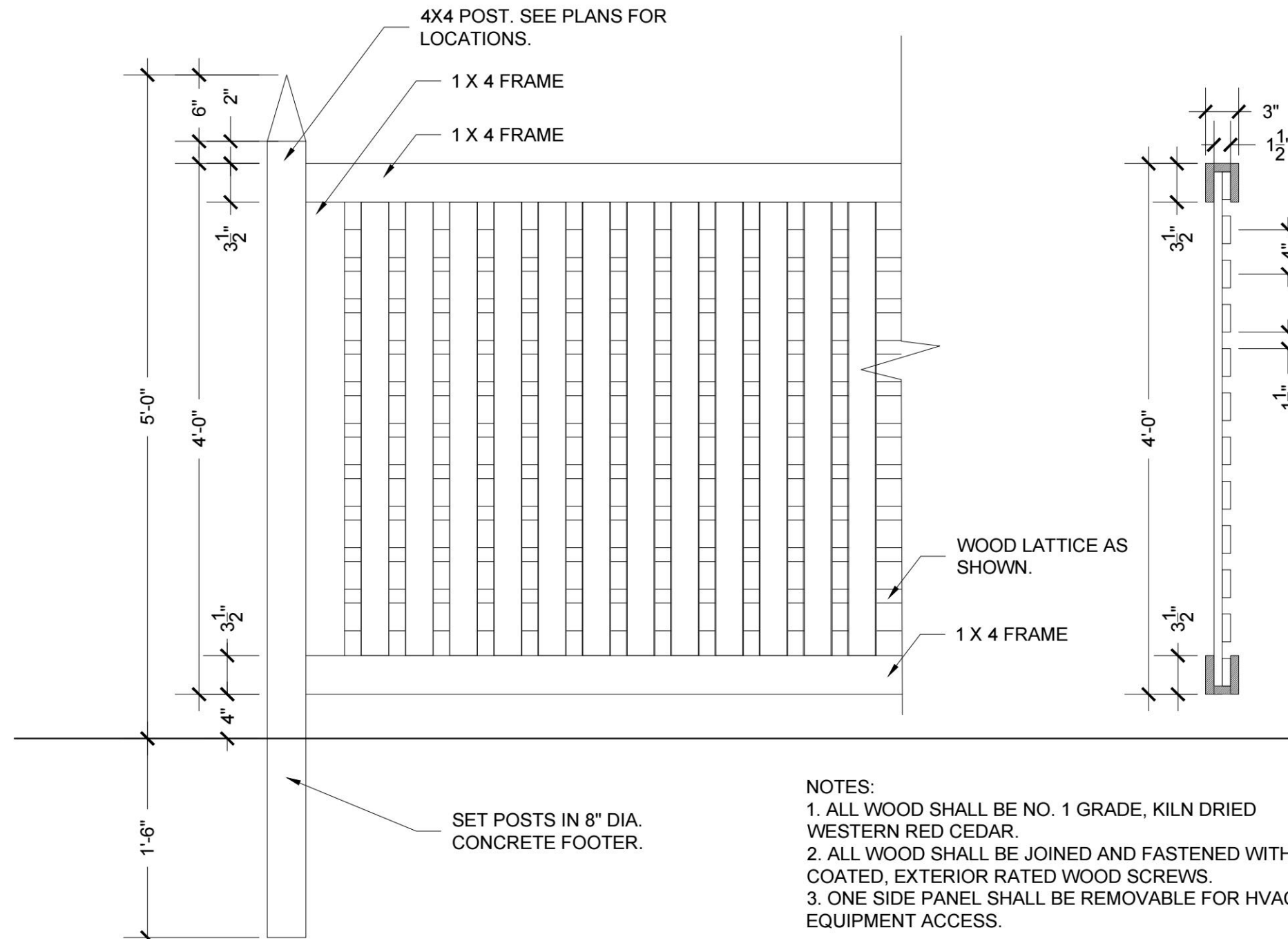
03 L500 BRICK PAVERS WITH CG-3 CONCRETE CURB  
1"=1'-0"



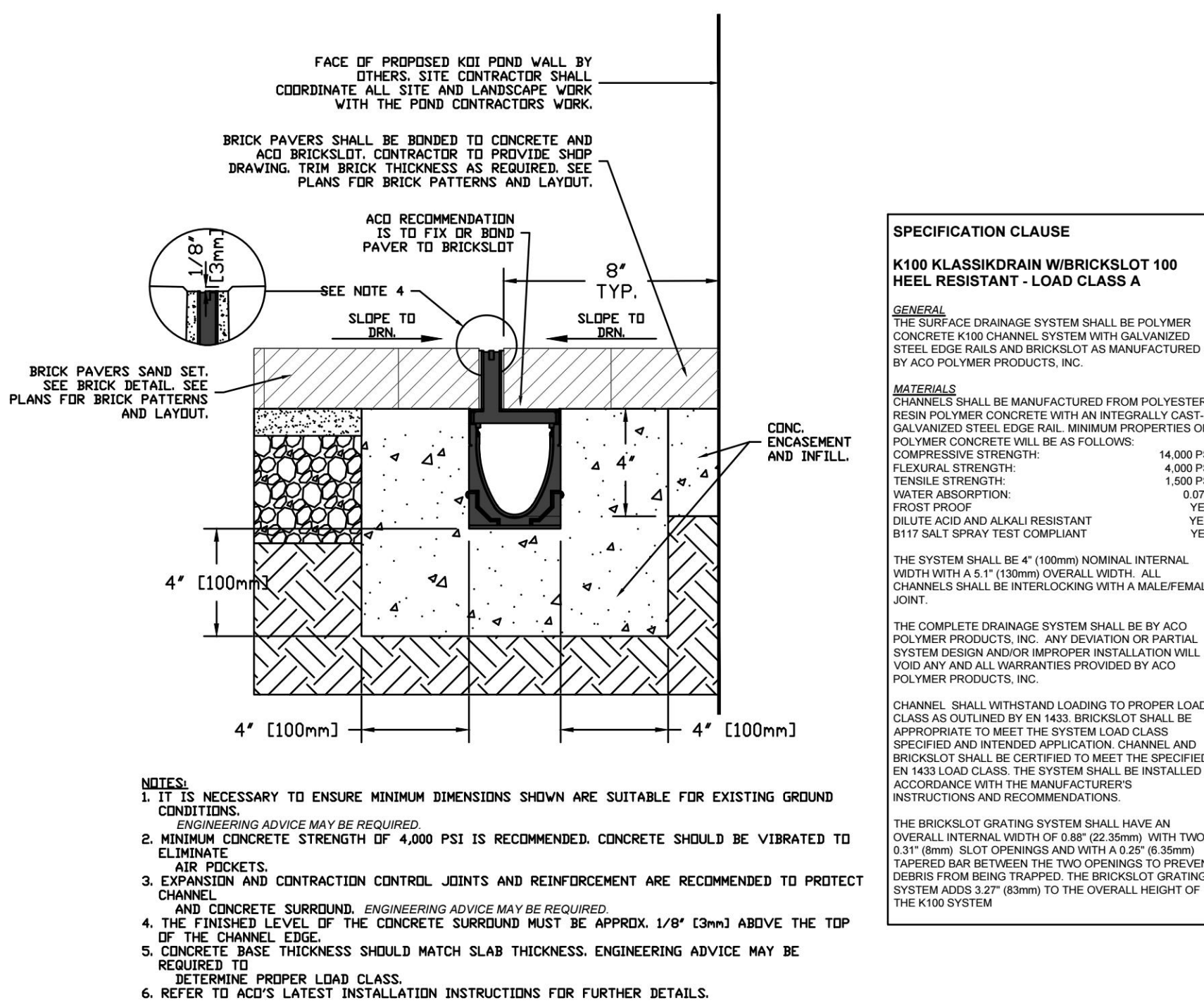
04 L500 STONE DUST WITH STEEL EDGING  
1-1/2"=1'-0"



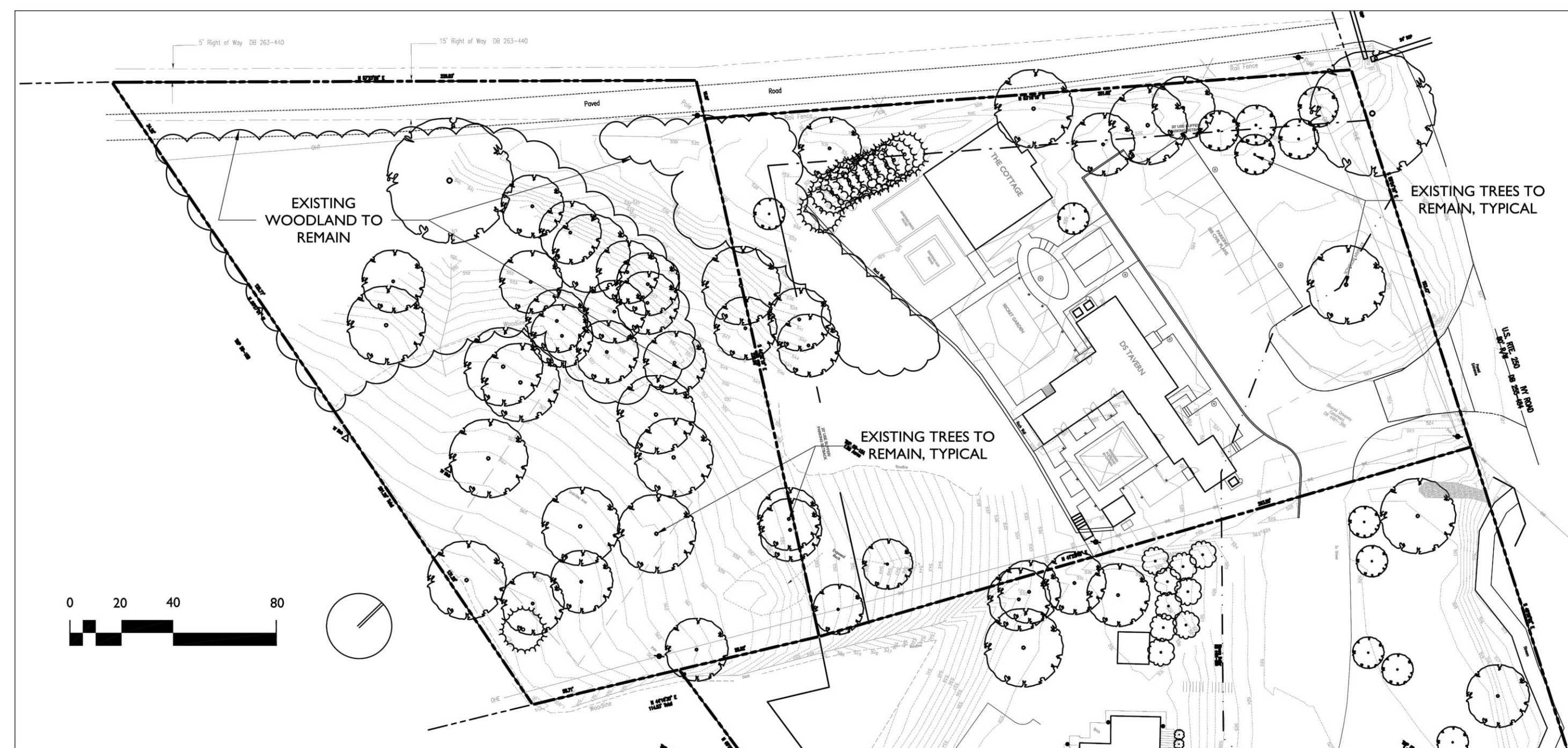
05 L500 FLUSH CONCRETE CURB  
1"=1'-0"



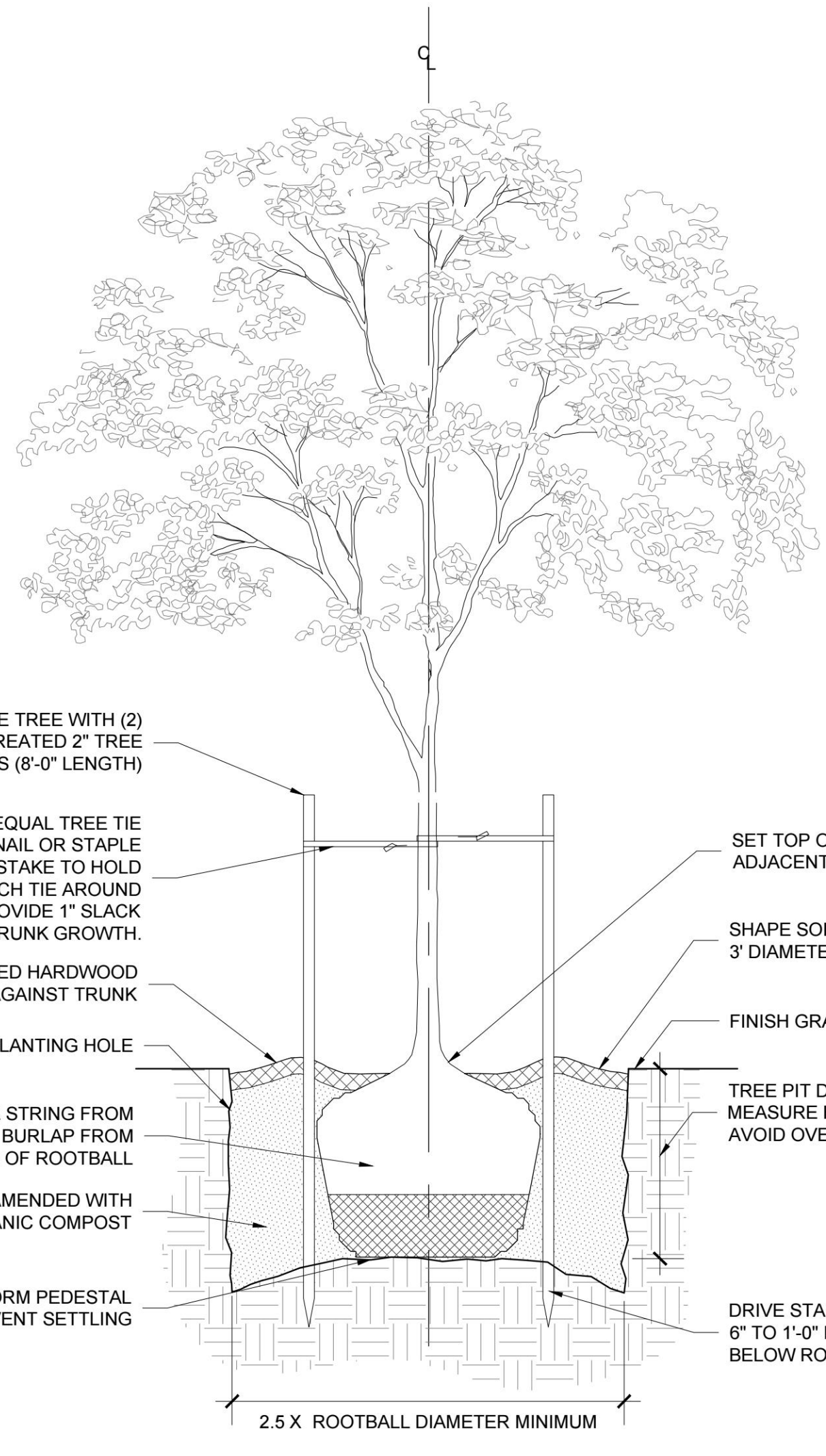
06 L500 WOOD ENCLOSURE FOR HVAC  
1"=1'-0"



07 L500 BRICKSLOT TRENCH DRAIN  
NTS



08 L500 EXISTING TREE CANOPY EXHIBIT  
NTS



1 L501 DECID TREE PLANTING DETAIL  
1/2" = 1'-0", XREF

**PROPERTY TREE CANOPY CALCULATION**

PROPERTY AREA (SQ. FT.)	86,249
COUNTY REQUIRED SITE CANOPY @ 10%	8,625
EXISTING CANOPY PRESERVED (SQ. FT.)	31,078
PROPOSED REQUIRED CANOPY (SQ. FT.)	3,962
TOTAL CANOPY PROVIDED (SQ. FT.)	35,040
TOTAL PROPERTY CANOPY PROVIDED (%)	40.6%

County of Albemarle  
Conservation Plan Checklist - To be placed on Landscape Plans  
(Handbook, pp. 111-284-111-297 for complete specifications)

- The following items shall be shown on the plan:**
  - Trees to be saved;
  - Limits of clearing (outside dripline of trees to be saved);
  - Location and type of protective fencing;
  - Grade changes requiring tree walls or walls;
  - Proposed trenching or tunneling beyond the limits of clearing.
- Markings:**
  - All trees to be saved shall be marked with print or ribbon at a height clearly visible to equipment operators.
  - No grading shall begin until the tree marking has been inspected and approved by a County Inspector.
- Pre-Construction Conference:**
  - Tree preservation and protection measures shall be reviewed with the contractor on site.
- Equipment Operation and Storage:**
  - Heavy equipment, vehicular traffic and storage of construction materials including soil shall not be permitted within the driplines of trees to be saved.
- Soil Erosion and Stormwater Detention Devices:**
  - Such devices shall not adversely affect trees to be saved.
- Fires:**
  - Fires are not permitted within 100 feet of the dripline of trees to be saved.
- Toxic Materials:**
  - Toxic materials shall not be stored within 100 feet of the dripline of trees to be saved.
- Protective Fencing:**
  - Trees to be retained within 40 feet of a proposed building or grading activity shall be protected by fencing.
  - Fencing shall be in place and shall be inspected and approved by a County Inspector prior to grading or construction.
- Tree Wells:**
  - When the ground level must be raised within the dripline of a tree to be saved, a tree well shall be provided and a construction detail submitted for approval.
- Tree Walls:**
  - When the ground level must be lowered within the dripline a tree to be saved, a tree wall shall be provided, and a construction detail submitted for approval.
- Trenching and Tunneling:**
  - When trenching is required within the limits of clearing, it shall be done as far away from the trunks of trees as possible. Tunneling under a large tree shall be considered as an alternative when it is anticipated that necessary trenching will destroy feeder roots.
- Cleanups:**
  - Protective fencing shall be the last items removed during the final cleanup.
- Damaged Trees:**
  - Damaged trees shall be treated immediately by pruning, fertilization or other methods recommended by a tree specialist.

NOTE: IT IS THE DEVELOPER'S RESPONSIBILITY TO CONFER WITH THE CONTRACTOR ON TREE CONSERVATION REQUIREMENTS.

OWNER SIGNATURE: [Signature] (DATE) 10/14/22

CONTRACT PURCHASER SIGNATURE: \_\_\_\_\_ (DATE) \_\_\_\_\_

5/1/06 Page 1 of 1

7 L501 CONSERVATION PLAN CHECKLIST & CANOPY CALC.  
NTS

**DS TAVERN PLANT SCHEDULE - COUNTY REQUIRED & SCREENING PLANTING (SEE SHT. L101)**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES	CANOPY EACH	CANOPY TOTAL
<b>CANOPY TREES</b>									
2	NO	NYSSA SYRIACA	BLACK OAK	1 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE STRAIGHT LEADER	381	362
1	OA	QUERCUS ALBA	WHITE OAK	2 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE STRAIGHT LEADER	429	429
2	OB	QUERCUS IMBRICARIA	SPRING OAK	2 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE STRAIGHT LEADER	337	374
1	OR	QUERCUS ALBURA	NORTHERN RED OAK	2 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE STRAIGHT LEADER	424	424
3	OB1	QUERCUS ALBURA (STREET TREE)	NORTHERN RED OAK	1 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE STRAIGHT LEADER	561	1683
<b>UNDERSTORY TREES</b>									
3	COM	SCOPINUS CAROLINIANA	AMERICAN HORSEBEAM	1 1/2" CAL.	888	AS SHOWN	WELL FORMED, SINGLE LEADER	120	120
3	CHV	CHOCOMANTHUS VIRGINICUS	FRINGE TREE	8" HT	888	AS SHOWN	MATCHED, SINGLE LEADER	175	175
22	IV	IMPATIENS VIRGINIANA "WIKKI"	BURK EASTERN RED CEDAR	8" HT	888	AS SHOWN	MATCHED, FULL, WELL FORMED	55	990
<b>SHRUBS</b>									
34	BOB	BIJULUS X GREEN MOUNTAIN	GREEN MOUNTAIN BOXWOOD	2.5' - 3.0' HGT	888	AS SHOWN	FULL, WELL FORMED		
31	BS	BIJULUS SEMPERVIRENS	AMERICAN BOXWOOD	4.0' - 4.5' HGT	888	AS SHOWN	FULL, WELL FORMED		
4	FGG	FOTHERGILIA GARDENI	DWARF WITCH ALDER	7.0'	CONT.	AS SHOWN	MATCHED		
<b>GRASSES &amp; FORBS</b>									
500	CA	CAREX ALBICANS	WHITE-TINGED SEDGE	PLUG	CONT.	PLANTED MIXED WITH CL AND DM. IN CLUMPS OF 5 TO 30			
100	CL	CHASMANTHUM LATHROPUM	NORTHERN SEA OATS	PLUG	CONT.	PLANTED MIXED WITH CL AND DM. IN CLUMPS OF 5 TO 30			
100	DM	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	PLUG	CONT.	PLANTED MIXED WITH CL AND DM. IN CLUMPS OF 5 TO 30			
35	HF	HEMORRHOIDALIS FLVVA 'OLD FASHIONED'	OLD FASHIONED ORANGE DANDELION	GAL	CONT.	AS SHOWN			

**DS TAVERN PLANT SCHEDULE - OPTIONAL SUPPLEMENTAL PLANTING (SEE SHT. L102)**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES	CANOPY EACH	CANOPY TOTAL
<b>UNDERSTORY TREES</b>									
8	CHV	CHOCOMANTHUS VIRGINICUS	FRINGE TREE	8" HT	888	AS SHOWN	UPRIGHT, SINGLE LEADER	125	975
7	HV	HARVEST MOON VIRGINIANA 'HARVEST MOON'	HARVEST MOON WITCH HAZEL	8" HT	888	AS SHOWN		113	791
1	PA	PRUNUS AVIUM 'WHITE GOLD'	WHITE GOLD SWEET CHERRY	8" HT	888	AS SHOWN	STANDARD ROOT STOCK	87	87
<b>SHRUBS</b>									
28	BOB	BIJULUS X GREEN MOUNTAIN	GREEN MOUNTAIN BOXWOOD	8" HT	888	AS SHOWN	FULL, WELL FORMED		224
1	FC	FICUS CARICA 'BROWN TURKEY'	FIG	5.0'	CONT.	AS SHOWN			
11	FGG	FOTHERGILIA GARDENI	DWARF WITCH ALDER	5.0'	CONT.	AS SHOWN			
31	TV	TEA VIRGINICA 'SPRITCH'	LITTLE HENRY TEA	5.0'	CONT.	AS SHOWN	FULL, WELL FORMED		
8	VAC	VACCINIUM ABBOTI X COMYBOSUM	SUNSHINE BLUE DWARF BLUEBERRY	5.0'	CONT.	AS SHOWN			
<b>ROCKEN GARDEN</b>									
24	ALL	ALLIUM SPAEROCEPHALON	DRUMSTICK ALLIUM	SUBB.	AS SHOWN				
8	AD	ASPARAGUS OFFICINALIS	ASPARAGUS	ROOT	AS SHOWN				
6	MP	MERTENSIA PERPENSIS	PEPPERCORN	GAL	CONT.				
15	OGV	ORGANUM VULGARE	OREGANO	GAL	CONT.				
12	PM	PIPCANTHEMUM MULTICULM	CLUSTERED MOUNTAIN MINT	QUART	CONT.				
10	RO	ROSMARINUS OFFICINALIS	ROSEMARY	1 GAL	CONT.	AS SHOWN			
<b>HERBACEOUS BEDS</b>									
225	ARD	ASTER DIVARICATUS	WHITE WOOD ASTER	PLUG	CONT.	12" O.C.			
135	CA	CAREX ALBICANS	WHITE TINGED SEDGE	PLUG	CONT.	18" O.C.			
39	DM	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	PLUG	CONT.	24" O.C.			
78	HBW	HELIOPSIS HELIOPSIS WAVE	BRONZE WAVE HELIOPSIS	PLUG	CONT.	12" O.C.			
70	SC	SANGUINARIA CANADENSIS	BLOODROOT	PLUG/BAREROOT	CONT.	8" O.C.			
<b>ELIPE &amp; KOI POND</b>									
323	AME	ANEMONE CANADENSIS	CANADA ANEMONE	PLUG	CONT.	AROUND PONDIES, 12" O.C.			
125	CA	CAREX ALBICANS	WHITE TINGED SEDGE	PLUG	CONT.	AROUND PONDIES, RANDOMLY MIXED WITH DM, 6-12" O.C.			
125	DM	DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	PLUG	CONT.	AROUND PONDIES, RANDOMLY MIXED WITH DM, 6-12" O.C.			
8	PMA	PAEONIA LACTIFLORA 'MISS AMERICA'	MISS AMERICA PEONY	GAL	CONT.	AS SHOWN			
5	PRD	PAEONIA LACTIFLORA 'BIRD'S DREAM'	BIRD'S DREAM PEONY	GAL	CONT.	AS SHOWN			
3	PKK	PAEONIA (INTERSECTIONAL HYBRID) X 'KOPPER KETTLE'	KOPPER KETTLE PEONY	GAL	CONT.	AS SHOWN			
5	PVY	PAEONIA LACTIFLORA 'JAN VAN LEEUWEN'	JAN VAN LEEUWEN PEONY	GAL	CONT.	AS SHOWN			
1	PCM	PAEONIA 'CORAL MAGIC'	CORAL MAGIC PEONY	GAL	CONT.	AS SHOWN			
<b>FLOWER LAWN</b>									
100	CS	COLCHICUM SP.	AUTUMN CROCUS SPECIES	SUBB.					
50	CV	CROCUS VERNUS	VERNAL CROCUS	SUBB.					
150	DS	CHIONODOXA SARDENIS	GLORY OF THE SNOW	SUBB.					
50	MA	MARICAERIS ARNEBIUM	GRACE WHEATCORN	SUBB.					

**DS TAVERN PLANT SCHEDULE - OPTIONAL SUPPLEMENTAL PLANTING (SEE SHT. L102)**

PERCENTAGE /	BOTANICAL NAME	COMMON NAME	ECOTYPE	PRICE/LB
49.70%	Schizachyrium scoparium	Little Bluestem	Fort Indiantown Gap-PA Ecotype	\$16.22
16.80%	Elymus virginicus	Virginia Wildrye	PA Ecotype	\$10.14
9.00%	Echinacea purpurea	Purple Coneflower		\$43.20
6.50%	Elymus hystrix	Bottlebrush Grass	PA Ecotype	\$30.20
3.50%	Chamaecrista fasciculata	Partridge Pea	PA Ecotype	\$7.20
3.00%	Rudbeckia hirta	Blackeyed Susan		\$31.20
2.00%	Helioopsis helianthoides	Oxeye Sunflower	PA Ecotype	\$33.60
1.30%	Zizia aurea	Golden Alexanders	PA Ecotype	\$96.00
1.20%	Pycnanthemum tenuifolium	Narrowleaf Mountainmint		\$168.00
1.00%	Penstemon digitalis	Tall White Beardtongue	PA Ecotype	\$168.00
0.90%	Tradescantia ohiensis	Ohio Spiderwort	PA Ecotype	\$192.00
0.60%	Liatris spicata	Marsh Blazing Star	PA Ecotype	\$252.00
0.50%	Baptisia australis	Blue False Indigo	Southern WV Ecotype	\$96.00
0.50%	Geum canadense	White Avena	PA Ecotype	\$192.00
0.40%	Asclepias tuberosa	Butterfly Milkweed	PA Ecotype	\$312.00
0.40%	Aster lateriflorus	Calico Aster	PA Ecotype	\$336.00
0.40%	Aster macrophyllus	Bigleaf Aster	PA Ecotype	\$336.00
0.40%	Monarda fistulosa	Wild Bergamot	Fort Indiantown Gap-PA Ecotype	\$96.00
0.30%	Asclepias syriaca	Common Milkweed	PA Ecotype	\$96.00
0.30%	Oenothera fruticosa var. fruticosa	Sundrops		\$360.00
0.20%	Aquilegia canadensis Eastern Columbine	Eastern Columbine		\$432.00
0.20%	Aster prenanthoides	Zigzag Aster	PA Ecotype	\$432.00
0.20%	Penstemon laevigatus	Appalachian Beardtongue	PA Ecotype	\$336.00
0.20%	Solidago bicolor	White Goldenrod	PA Ecotype	\$240.00
0.10%	Aster pilosus	Heath Aster	PA Ecotype	\$264.00
0.10%	Penstemon hirsutus Hairy Beardtongue	Hairy Beardtongue		\$480.00
0.10%	Solidago juncea	Early Goldenrod	PA Ecotype	\$336.00
0.10%	Solidago nemoralis	Gray Goldenrod	PA Ecotype	\$264.00
0.10%	Solidago odora	Licorice Scented Goldenrod	PA Ecotype	\$384.00
100.00%			MIX PRICE/LB	\$37.40

DS TAVERN SEEDING SCHEDULE  
ERNST CONSERVATION SEEDS  
PARTIALLY SHADED ROADSIDE MIX - ERNMX-140

PERCENTAGE /	BOTANICAL NAME	COMMON NAME	ECOTYPE	PRICE/LB
49.70%	Schizachyrium scoparium	Little Bluestem	Fort Indiantown Gap-PA Ecotype	\$16.22
16.80%	Elymus virginicus	Virginia Wildrye	PA Ecotype	\$10.14
9.00%	Echinacea purpurea	Purple Coneflower		\$43.20
6.50%	Elymus hystrix	Bottlebrush Grass	PA Ecotype	\$30.20
3.50%	Chamaecrista fasciculata	Partridge Pea	PA Ecotype	\$7.20
3.00%	Rudbeckia hirta	Blackeyed Susan		\$31.20
2.00%	Helioopsis helianthoides	Oxeye Sunflower	PA Ecotype	\$33.60
1.30%	Zizia aurea	Golden Alexanders	PA Ecotype	\$96.00
1.20%	Pycnanthemum tenuifolium	Narrowleaf Mountainmint		\$168.00
1.00%	Penstemon digitalis	Tall White Beardtongue	PA Ecotype	\$168.00
0.90%	Tradescantia ohiensis	Ohio Spiderwort	PA Ecotype	\$192.00
0.60%	Liatris spicata	Marsh Blazing Star	PA Ecotype	\$252.00
0.50%	Baptisia australis	Blue False Indigo	Southern WV Ecotype	\$96.00
0.50%	Geum canadense	White Avena	PA Ecotype	\$192.00
0.40%	Asclepias tuberosa	Butterfly Milkweed	PA Ecotype	\$312.00
0.40%	Aster lateriflorus	Calico Aster	PA Ecotype	\$336.00
0.40%	Aster macrophyllus	Bigleaf Aster	PA Ecotype	\$336.00
0.40%	Monarda fistulosa	Wild Bergamot	Fort Indiantown Gap-PA Ecotype	\$96.00
0.30%	Asclepias syriaca	Common Milkweed	PA Ecotype	\$96.00
0.30%	Oenothera fruticosa var. fruticosa	Sundrops		\$360.00
0.20%	Aquilegia canadensis Eastern Columbine	Eastern Columbine		\$432.00
0.20%	Aster prenanthoides	Zigzag Aster	PA Ecotype	\$432.00
0.20%	Penstemon laevigatus	Appalachian Beardtongue	PA Ecotype	\$336.00
0.20%	Solidago bicolor	White Goldenrod	PA Ecotype	\$240.00
0.10%	Aster pilosus	Heath Aster	PA Ecotype	\$264.00
0.10%	Penstemon hirsutus Hairy Beardtongue	Hairy Beardtongue		\$480.00
0.10%	Solidago juncea	Early Goldenrod	PA Ecotype	\$336.00
0.10%	Solidago nemoralis	Gray Goldenrod	PA Ecotype	\$264.00
0.10%	Solidago odora	Licorice Scented Goldenrod	PA Ecotype	\$384.00
100.00%			MIX PRICE/LB	\$37.40

Seeding Rate: 20 lbs/acre with 30 lbs/acre of a cover crop. For a cover crop use either grain oats (1 Jan to 31 Jul) or grain rye (1 Aug to 31 Dec).

VA Northern Piedmont UPL Meadow Mix - ERNMX-851

PERCENTAGE /	BOTANICAL NAME	COMMON NAME	ECOTYPE	PRICE/LB
67.90%	Schizachyrium scoparium	'Camper' Little Bluestem	'Camper'	\$17.97
15.00%	Elymus virginicus	Virginia Wildrye	PA Ecotype	\$10.14
3.20%	Carex lanceolata	Lanceleaf Careopsis		\$28.80
3.00%	Rudbeckia hirta	Blackeyed Susan		\$31.20
2.00%	Chamaecrista fasciculata	Partridge Pea	PA Ecotype	\$7.20
1.20%	Pycnanthemum tenuifolium	Narrowleaf Mountainmint		\$168.00
1.00%	Asclepias tuberosa	Butterfly Milkweed		\$312.00
1.00%	Chamaecrista nictitans	Sensitive Pea	NC Ecotype	\$57.60
1.00%	Helioopsis helianthoides	Oxeye Sunflower	PA Ecotype	\$33.60
0.70%	Eragrostis spectabilis	Purple Lovegrass	Fort Indiantown Gap-PA Ecotype	\$240.00
0.60%	Aster lateriflorus	Calico Aster	PA Ecotype	\$336.00
0.60%	Aster pilosus	Heath Aster	PA Ecotype	\$264.00
0.40%	Monarda fistulosa	Wild Bergamot	Fort Indiantown Gap-PA Ecotype	\$96.00
0.40%	Vernonia noveboracensis	New York Ironweed	PA Ecotype	\$264.00
0.30%	Monarda punctata	Spotted Beebalm	FL Ecotype	\$312.00
0.30%	Penstemon canescens	Eastern Gray Beardtongue	WV Ecotype	\$480.00
0.30%	Penstemon laevigatus	Appalachian Beardtongue	PA Ecotype	\$336.00
0.30%	Solidago nemoralis	Gray Goldenrod	PA Ecotype	\$264.00
0.30%	Tradescantia virginiana	Virginia Spiderwort	Southeastern PA/Northern VA ble	\$480.00
0.20%	Asclepias syriaca	Common Milkweed	PA Ecotype	\$96.00
0.20%	Oenothera fruticosa var. fruticosa	Sundrops		\$360.00
0.10%	Solidago bicolor	White Goldenrod	PA Ecotype	\$240.00
100.00%			MIX PRICE/LB	\$35.26

Seeding Rate: Seed at 20 lbs/acre with a cover crop. For a cover crop use one of the following: grain oats (30 lbs/acre; 1 Jan to 30 Apr), brown top millet (10 lbs/acre

